



## ADDENDUM

Public Building Commission of Chicago | Richard J. Daley Center | 50 West Washington Street, Room 200 | Chicago, Illinois 60602 | (312) 744-3090 | pbccchicago.com

**ADDENDUM NO.:** 04  
**PROJECT NAME:** Emiliano Zapata Academy Annex  
**PROJECT NO.:** 05055  
**CONTRACT NO.:** C1580  
**DATE OF ISSUE:** September 1, 2017

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### NOTICE OF CHANGES, MODIFICATIONS, OR CLARIFICATIONS TO CONTRACT DOCUMENTS

The following changes, modifications, or clarifications are hereby incorporated and made an integral part of the Contract Documents. Unless clearly expressed otherwise by this Addendum, all terms and conditions defined in the original Contract Documents shall continue in full force and effect and shall have the same meaning in this Addendum. Issued Addenda represent responses/clarifications to various inquiries. Contractors shall be responsible for including all associated labor/material costs in its bid. Drawings/specifications corresponding to inquiry responses will be issued with the Issue for Construction Documents, upon issuance of building permit.

**ITEM NO. 1: CHANGE TO KEY DATES**

None.

**ITEM NO. 2: REVISIONS TO BOOK 1 – PBC INSTRUCTIONS TO BIDDERS**

None.

**ITEM NO. 3: REVISIONS TO BOOK 2 – PBC STANDARD TERMS AND CONDITIONS**

None.

**ITEM NO. 4: REVISIONS TO BOOK 3 – TECHNICAL SPECIFICATIONS**

- Change 1.** Book 3 Volume 1 – Section 01 14 11 – **REVISED** sections 1.4 Included school specific information and **REMOVED** section 1.7D
- Change 2.** Book 3 Volume 1 – Section 31 21 19 SOIL VAPOR MIGRATION– **DELETED** Part 4 on Page 6.
- Change 3.** Appendix M – **REVISED** Appendix with drawings dated 8/21/17.

**ITEM NO. 5: REVISIONS TO DRAWINGS**

- Change 1.** SHEET G1.1 Sheet Index – **REVISE** C4.0 and C4.0A Drawing names
- Change 2.** SHEET G1.1 Sheet Index – **DELETE** ERS1.0 Excavation Plan drawing.
- Change 3.** SHEET C1.0 Site Demolition Plan – **REVISED** existing electrical service path from Modular Building.
- Change 4.** SHEET C4.0 Site Utility Plan (Base Bid) – **REVISED** sewer and water notes and new telecommunications duct bank extents.
- Change 5.** SHEET C4.0A Site Utility Plan - **REVISED** sewer and water notes and new telecommunications duct bank extents.
- Change 6.** SHEET RD1.0 Remediation Plan – **REVISED** Dimensions of sheet pile wall location and extents, that is being provided and installed by others.
- Change 7.** SHEET AS1.0 – **REVISED** Plan note to reference backfill requirements under building foundations within environmental remediation area.
- Change 8.** SHEET ERS1.0 – **DELETED** sheet. Information from sheet is now provided on sheet EX1.0 Excavation Plan.
- Change 9.** SHEET EX1.0 Excavation Plan – **REVISED** sheet in its entirety to coordinate with CDOT and sheet pile wall being installed by others.

- Change 10.** SHEET EX2.0 Treatment Area Site Plan – **REVISED** Dimensions of sheet pile wall location and extents that is being provided and installed by others.
- Change 11.** SHEET EX3.0 Chemical Oxidation Treatment – **REVISED** dimensions of sheet pile wall location and extents that is being provided and installed by others.
- Change 12.** SHEET S1.0 Foundation Plan – **ADDED** Keynote #8 at 4 locations.
- Change 13.** SHEET ES.1 Electrical Site Plan – **REVISED** Keynote #9
- Change 14.** SHEET ES.1 Electrical Site Plan – **ADDED** Keynote #10 and provisions for new telecommunications duct bank.
- Change 15.** SHEET E7.8 Electrical Details – **ADDED** Detail 4 Duct Bank Detail

**ITEM NO. 6: REQUESTS FOR INFORMATION**

**RFI-1.**

**Question:** Confirmation that all work shown for the vapor barrier and passive soil venting system is to be paid for out of the Vapor Barrier and Soil Vent System Allowance. Part 4 of the Spec Section states this work is contract pricing.

**Response:** Specification section 31 21 19 has been revised to delete the contract pricing information and is included in this addendum.

**RFI-2.**

**Question:** 1. There are four steel HSS Columns located in both vestibule 200 and vestibule 204. What are the finishes for these going to be?

2. On drawing A3.2 – KN(2A) shows continuous stone accent band. On the associated cross section A5.1 only face brick is shown. Which is correct? Just wanted to clarify on question 2, it is in reference to the 18” stone behind the aluminum coping. It is reflected on the cross section (A5.1), but not on the elevation (A3.2).

**Response:** 1.The steel jacket of the prefabricated fire proof steel columns (fire-trol) is to be painted. Refer to specification 09 91 00 for information regarding surfaces exposed to public view, included in this addendum. 2. Refer to sheet A3.2 within Addendum 2 for clarification regarding stone bands.

**RFI-3.**

**Question:** Is the modular building to be in use during phases 1-6? On drawing C1.0 it is shown to remove the electrical service to the building. How will new power be provided?

**Response:** Please see revised sheet C1.0 for location of power to modular. C1.0 is included in this addendum.

**RFI-4.**

**Question:** Specification Section 01 14 11 Construction Operations and Site Utilization Plan has listed all xx/xx/xxxx as dates for construction phasing and school operations dates. This spec looks like it should have been completed before issued and never got updated. Can we please get an updated version of specification section 01 14 11 with all applicable dates and times completed?

**Response:** Section 01 14 11 has been revised and is included in this addendum.

**RFI-5.**

**Question:** A note was added to the Civil Site Utility Plan C4.0 in Addendum 2 calling for the telecom duct bank to be rerouted. The Electrical Site Plan ES.1 calls for this same telecom duct bank to remain and be protected during construction. Please confirm whether this duct bank is to be rerouted or to remain.

a. If to be rerouted, please confirm that revised sheet C4.0 shows the location of the rerouted duct bank, not the existing.

**Response:** The finish material of the vertical and horizontal components of the exterior canopies are cement plaster. Detail No.14 on Drawing sheet A6.1 Section Details has been revised to reflect the correct material note and the Technical Specification section referenced for material note 107-F on drawing sheet A6.0 Enlarged Plan Keynotes and Typical Construction has also been revised. These revised drawing sheets are included in this addendum.

**List of Attachments and Drawings:**

(Available at Cushing Co.'s Online Planroom: <http://dfs.cushingco.com/pbc.htm> )

This Addendum includes the following attached General Drawings:

1. G1.1 Sheet Index

This Addendum includes the following attached Civil Drawings:

1. C1.0 Site Demolition Plan
2. C4.0 Site Dimension Plan
3. C4.0A Site Utility Plan

This Addendum includes the following attached Environmental Drawings:

1. RD1.0 Remediation Plan

This Addendum includes the following attached Environmental Site Drawings:

1. AS1.0 Architectural Site Remediation Plan
2. EX1.0 Excavation Plan
3. EX2.0 Treatment Area Site Plan
4. EX3.0 Chemical Oxidation Treatment

This Addendum includes the following attached Structural Drawings:

1. S1.0 Foundation Plan

This Addendum includes the following attached Electrical Drawings:

1. ES.1 Electrical Site Plan
2. E7.8 Electrical Details

**END OF ADDENDUM NO. 04**

## SECTION 00 01 10

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## **VOLUME 3A – APPENDIX**

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Appendix B – Phase I Environmental Site Assessment (Partial - Refer to Volume 3B & 3C for Continuation) – Dated December 29, 2016

## **VOLUME 3B – APPENDIX**

Appendix B – Continuation of Volume 3A: Phase I Environmental Site Assessment – Dated December 29, 2016

## **VOLUME 3C – APPENDIX**

Appendix B – Continuation of Volume 3A: Phase I Environmental Site Assessment – Dated December 29, 2016

## **VOLUME 3D – APPENDIX**

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Appendix E – Limited Asbestos Survey (Interior) – Dated March 13, 2017

Appendix F – Limited Asbestos Survey (Modular) – Dated March 13, 2017

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Appendix H – Limited Asbestos Survey (Roof) – Dated April 11, 2017

Appendix I – Pre-Treatment Soil & Groundwater Sampling – Dated June 30, 2017

Appendix J – Playlot Renderings – Dated January 13, 2017

Appendix K – Geotechnical Report – Dated December 7, 2016

Appendix L – Existing Modular Building Drawings – Dated July 14, 2003

**Appendix M – Earth Retention System Drawings – Dated August 21, 2017**

**END OF TABLE OF CONTENTS**

## SECTION 01 14 11

### CONSTRUCTION OPERATIONS AND SITE UTILIZATION PLAN

#### PART 1 - GENERAL

##### 1.1 SUMMARY

- A. The Construction Operations Plan provides a coordinated construction environment to ensure an orderly, secure and safe operation within the existing school and the entire school property, consequently forming the basis for the Site Utilization Plan prepared by the General Contractor.
1. The Board Authorized Representative and the Building Engineer will administer the operations plan activities. All Construction Operating issues shall be channeled through and require approval by the Board Authorized Representative and/or the Building Engineer and Principal.
  2. The Construction Operations Plan will be prepared based on the requirements of the project and in coordination with the existing school operations and program. The elements of this plan required for incorporation into the Site Utilization Plan are included in this section.

##### 1.2 RELATED SECTIONS

- A. Refer to drawings and General Contractor's Service Agreement for information related to this section. Additional Specification Sections containing information that related to this section include, but are not limited to the following:
1. Book 1: Project Information, Instructions to Bidders, and Execution Documents
  2. Book 2: Standard Terms and Conditions for Construction Contracts

##### 1.3 SUBMITTALS

- A. Site Utilization Plan: Submit five (5) copies of the Site Utilization Plan required in Part 3. 3.
1. Submit proposed revisions as deemed necessary

##### 1.4 CONSTRUCTION OPERATIONS PLAN

- A. Sequence of Work:

<b>CONSTRUCTION</b>	<b>Schedule Dates</b>
Milestone 1: <ul style="list-style-type: none"><li>• Hot Water Replacement with the existing school</li></ul>	10/02/2017 - 12/31/2017
Milestone 2: <ul style="list-style-type: none"><li>• Construction and completion of the durable rated Contractor maintained temporary exit at</li></ul>	10/02/2017 - 12/20/2017

the northwest exit of existing building <ul style="list-style-type: none"> <li>• Durable interior rated barrier level 1 &amp; 2 north stairwells (UL# U407).</li> <li>• Removal and disposal of existing trash enclosure and relocation of existing trash dumpster to new temporary enclosure</li> </ul>	
Milestone 3: <ul style="list-style-type: none"> <li>• Site remediation and excavation</li> <li>• Provide and maintain Fire Dept access road through construction area</li> <li>• Excavation, demolition and/or modification of the existing underground utilities</li> </ul>	10/20/2017 - 12/31/2017
Milestone 4: <ul style="list-style-type: none"> <li>• All work associated with site improvements for the site remediation program activities, excluding plantings and playground equipment</li> <li>• Underground Storm Trap System excavation and installation</li> </ul>	10/20/2017 - 08/31/2018
Milestone 5: <ul style="list-style-type: none"> <li>• Roof Replacement, interior renovations</li> </ul>	06/25/2018 - 8/31/2018
Substantial Completion: <ul style="list-style-type: none"> <li>• Annex – 2 Story Annex Building Construction</li> <li>• Site improvements including plantings and playground equipment</li> </ul>	10/20/2017 - 11/30/2018
Milestone 6: Modular and Site Improvements	03/01/2019 - 4/30/2019
<b>POST-CONSTRUCTION</b>	<b>Schedule Date</b>
1. 11-Month Warranty Walkthrough	10/30/2019

B. Use of Site:

<b>General Note: Work during the school year on school days is restricted to outside during school hours.</b>	
<b>SCHOOL HOURS OF OPERATION</b>	<b>Schedule Date and Times</b>
1. Regular Hours <ul style="list-style-type: none"> <li>a. Student regular hours:</li> <li>b. Building Engineer regular hours:</li> <li>c. Custodian regular hours:</li> </ul>	7:30am – 3:30pm 6:00am – 2:00pm 6:00am – 9:30pm
2. Summer Break: <ul style="list-style-type: none"> <li>a. Date <b>students</b> depart for summer break:</li> <li>b. Date <b>students</b> return from summer break:</li> <li>c. Date <b>teachers</b> depart for summer break:</li> <li>d. Date <b>teachers</b> return from summer break:</li> <li>e. Building Engineer hours:</li> <li>f. Custodian hours:</li> </ul>	No summer school or programs 2018 TBD TBD TBD TBD TBD TBD
3. School Winter Break: <ul style="list-style-type: none"> <li>a. Date <b>students</b> depart for winter break:</li> <li>b. Date <b>students</b> return from winter break:</li> <li>c. Date <b>teachers</b> depart for winter break:</li> <li>d. Date <b>teachers</b> return from winter break:</li> <li>e. Building Engineer hours:</li> <li>f. Custodian hours:</li> </ul>	12/22/2017 01/08/2017 12/22/2017 01/08/2017 5:30am – 1:30 pm 6:00am – 2:00pm
4. School Fall and Thanksgiving Break: <ul style="list-style-type: none"> <li>a. Date <b>students</b> depart and return for fall break:</li> <li>b. Date <b>students</b> depart and return for Thanksgiving break:</li> <li>c. Date <b>teachers</b> depart and return for fall break:</li> </ul>	11/02/2017 and 11/06/2017 11/21/2017 and 11/27/2017 11/02/2017 and 11/06/2017

d. Date <b>teachers</b> depart and return for Thanksgiving break: e. Building Engineer hours: f. Custodian hours:	11/21/2017 and 11/27/2017 5:30am – 1:30 pm 6:00am – 2:00pm
5. School Spring Break: a. Date <b>students</b> depart for spring break: b. Date <b>students</b> return from spring break: c. Date <b>teachers</b> depart for spring break: d. Date <b>teachers</b> return from spring break: e. Building Engineer hours: f. Custodian hours:	03/23/2018 04/02/2018 03/23/2018 04/02/2018 5:30am – 1:30 pm 6:00am – 2:00pm
6. Student Testing Dates:	TBD
7. Student Registration Dates:	June 30 <sup>th</sup> 2018.
8. Open House / Picnic Planned prior to School Opening:	TBD
9. Sports Team Activities after-hours and during Breaks:	Academic School Year 2017-2018: M, T, W, and Th 3:30pm – 5:30pm
10. Other After-Hours and Break Community Activities on Campus:	October 1- October 27 3:30 pm – 7:00 pm

C. Special Requirements:

<b>CRITICAL COORDINATION ITEMS</b>	
1. ComEd Coordination	Installation of new ComEd Transformer
2. People’s Gas Coordination	Installation of new gas meter regulators
3. Safety, Security, and Access Coordination	1. Contractor access afterhours and during Summer: School access during academic school year to be coordinated with building engineer. A key will be provided to PBC summer 2018. 2. School-staff over summer break: 3-4 admin staff during summer; any construction site walk throughs to be coordinated with PBC, all personnel to have proper safety equipment.



4. Moving	For moves that are required to perform the work, Teachers will be required to label and pack the material to be moved. CPS Operations will provide boxes, and provide moving services to make moves out of and back into designated spaces. ITS will be responsible for moving computers and smart boards to secured classroom within school. School is responsible for coordinating with ITS for reconnecting any computers that are required to be disconnected and relocated due to construction.
5. ITS Coordination	School and CPS to work with ITS and vendor to relocate smart boards out of modular and computer equipment to secured classroom within school.
6. Cleaning	Contractor provides final cleaning.
<b>OTHER COORDINATION INFORMATION</b>	
1. Assigned CPS cleaning vendor and contact information:	Aramark
2. Does campus have any staff or students with ADA needs:	Maintain access for all students, staff, faculty, and public for all existing entries except for entries in Milestone 2 that are indicated to be blocked during construction.
3. Any ongoing or other upcoming projects at the School:	None
4. Any leases impacting Work:	None
5. Does project scope require any material to be salvaged?	None
6. Staging area(s)	By PBC & GC. See school required access to campus areas last page.
7. CM Office Location	TBD

### 1.5 GENERAL REQUIREMENTS

- A. General Contractor shall review and be familiar with the site conditions through site visits. The GC shall participate in site visits, and inspections as appropriate or as requested by the Chicago Public Schools or its agents.

- B. General Contractor shall provide all temporary and permanent driveway apron and alley permits for the duration of the construction if required. The General Contractor is to pay all fees required for processing permits and is to contact and comply with all authorities and jurisdiction required for permitting.
- C. General Contractor shall provide snow removal and clear all debris in construction area. Maintaining accessibility that conforms with OSHA, Chicago Building Code and emergency egress standards.
- D. General Contractor is to provide and pay for all required permits for street access for truck delivery from the local and state jurisdiction.
- E. General Contractor shall be required to coordinate and complete the work within the contractual completion date(s) for the work as described within Division 00 Document "Supplemental Conditions," Time for Performance and this section. The General Contractor shall be also held responsible for meeting all related provisions as described within this section.
- F. General Contractor shall survey the site and photograph the area of construction operations. Upon completion of the work the Contractor is to restore the area to the documented condition prior to the start of work or as otherwise indicated in the Contract Documents.
- G. General Contractor shall survey the site and photograph the area of construction operations. Upon completion of the work the Contractor is to restore the area to the documented condition prior to the start of work or as otherwise indicated in the Contract Documents. The GC shall provide evidence of compliance.
- H. General Contractor shall coordinate work with School during Mandatory State Testing periods. Test dates should be verified with the School. No work shall be permitted in the existing facility or on the site during testing except as specifically approved by the Principal, Building Engineer, and Commission Representative. General Contractor must minimize noise in all other areas during these time periods, and if requested by the School, stop work causing the noise until testing is completed. General Contractor shall bear all costs for any loss of time or production related to Mandatory State Testing.
- I. General Contractor shall coordinate and maintain all exit egress during construction as required by the City of Chicago code, other entities with jurisdiction, and as directed by CPS or their representatives. The General Contractor shall provide and maintain all materials and labor including barricades, construction fence, doors, partitions, and fire rated walls as required for safe egress. All costs for this work shall be included in the Contract Base Bid regardless of whether it is indicated in the Contract Documents or not.
- J. No deliveries will be permitted to either the existing facility or the new addition between the hours of 8:30 to 9:30 AM and 2:30 to 4:30 PM.

#### 1.6 PROTECTIVE FACILITIES

The contractor must provide, at a minimum, the temporary facilities required by the authorities having jurisdiction.

- A. Site Fence: 8'-0" high, chain link fence, Contractor Obligations.

- a. Furnish, install and maintain to prevent unauthorized access to Site by people and animals.
- b. Locate fence where indicated on Drawings.
- c. Provide gates as required for access. Coordinate locations with Commission Representative.
- d. Do not remove until other security facilities, either temporary or permanent, are in place and in operation.

#### 1.7 SECURITY PROCEDURES

The following security procedures must be followed by the Contractor.

##### A. Fencing:

- a. Furnish, install, and maintain new chain-link fence at boundary lines of all Sites included in this contract or added to this contract by change order. In addition, contiguous Site, the fence should surround the entire Site.
- b. Material:
  - i. 9 gauge 2" galvanized steel mesh, 8 feet high
  - ii. 3" outside dimension galvanized end posts with caps
  - iii. 2" outside dimension galvanized line (intermediate) posts
  - iv. 10 ft. max. center to center, with caps
  - v. 1-5/8" outside dimension galvanized top and bottom rails
  - vi. 12 gauge min. galvanized ties
  - vii. Required fittings for proper installation of above.
  - viii. Opaque fabric meshing affixed to fence as required by Chicago Municipal Code Section 13-32-125.
- c. Method:
  - i. Unless otherwise indicated on the drawings, posts are to be set at a depth of no less than 3'0" below ground level and anchored in concrete to full depth. Posts shall be properly capped. End posts and line posts will be evenly spaced at a distance of no more than 10'-0" apart, center to center. Fence shall be erected with top and bottom rails of 1-5/8" o.d. and ties of no less than 12 gauge, securing the galvanized steel mesh to the rails. The bottom rail shall be placed at a distance of no greater than 2" from the bottom of the posts and shall be secured by the use of proper fittings to corner and intermediate posts. Top rail shall run continuously through line post caps and shall be fastened to end posts no less than 2" from the top by the use of proper fittings.

- ii. Galvanized steel mesh shall be 8 feet high installed on outside of posts with salvage edge on top. Ties to be 12 gauge min. spaced as per ASTM F567 "Practice for Installation of Chain-Link Fence".
  - iii. Gates: Double 8'-0" gate with welded frame and galvanized hinges and hardware and full height fabric as per specification. Locations and number as indicated. Coordinate installation of additional gates with Commission Representative. Additional gates to be installed at Contractor's cost.
  - iv. Opaque fabric mesh "shall be affixed to the construction site fence. Such fabric meshing shall be capable of allowing air to pass but impervious to dust and dirt. The fabric meshing shall be of a fineness such that no material over 1/8 inch in size or material splatters, laitance or other products of the construction operation shall pass through the mesh. Such mesh fabric shall be the full height of the fence and cover the entire length of the fence including any gated openings. The fabric meshing and fence shall not contain any advertisements." Chicago Municipal Code Section 13-32-125(2)(a).
- B. The Contractor is to set up and stage the entire project within the boundaries of the construction fence. The General Contractor is responsible for maintaining and modifying the fence as necessary and as approved in the Site Utilization Plan for the life of the project. Removal and disposal of the fence at the conclusion of the project is the responsibility of the General Contractor.
- C. The Building Engineer or other CPS staff as approved by CPS is required to be present at all times work is in progress in the existing Building. If advance arrangements are not made with CPS, the General Contractor shall be responsible for all overtime costs for the CPS staff member for work outside of normal working hours. Overtime arrangements for CPS staff includes weekends, holidays, and generally hours beyond that listed in Site Restrictions above. IUOE Local 143 Holidays are as follows (Saturday holidays are observed on Friday, Sunday holidays are observed on Monday):
1. New Year's Day.
  2. Martin Luther King Jr.'s Birthday.
  3. Lincoln's Birthday.
  4. Presidents Day.
  5. Pulaski Day.
  6. Memorial Day.
  7. Independence Day.
  8. Labor Day.
  9. Columbus Day.
  10. Veterans Day.
  11. Thanksgiving.
  12. Friday after Thanksgiving.
  13. Christmas Day.

## **PART 2 - PRODUCTS (Not Used)**

## **PART 3 - EXECUTION**

### **3.1 SITE UTILIZATION PLAN**

- A. General Contractor is to prepare and submit to the Commission Representative, the Building Engineer, and the AOR for approval a Site Utilization Plan based on the Construction Operations requirements outlined in this section. Mobilization on-site is not to occur until approval of the Site Utilization Plan is obtained. If requested by the Contractor, a preliminary meeting to review site elements and Construction Operations with the Commission Representative, AOR, and School staff prior to submission of the Site Utilization Plan shall be held.
- B. The Site Utilization Plan shall be provided in a full-size graphic drawing format (36 x 48 inches) on [11 x17 inch] [24 x 36 inch] [30 x 42 inch] prints/plots. Provide a separate plan for the site and for each floor of the existing building where work is being performed. Modifications to the format and sheet size shall be permitted if pre-approved by the Commission Representative and if proposed modifications shall facilitate preparation, presentation and review of the Site Utilization Plan. Electronic copies of the Contract Document drawings as appropriate shall be provided for this purpose upon request. The Site Utilization Plan shall at a minimum include the following elements:
1. Title block information including School Name, Contract Number, General Contractor, Building floor/level information, and current plan date.
  2. Building footprint of both new (if applicable) and existing buildings, trees, landscaping, paving, drainage structures, existing and ornamental fencing and other important site features.
  3. Areas of staging for students and staff, student drop-off points, existing school entrances and exits, staff parking areas, and traffic patterns for both construction and non-construction vehicles.
  4. Denotation of the limits of construction and required construction fencing including any existing fencing to remain.
  5. Denotation of required covered construction barricade walkways
  6. Denotation of areas allowed for staging purposes: construction personnel parking, material storage, and construction trailer(s). Such activities are to only take place in areas designated.
  7. Denotation of any specific site conditions required to be observed such as keeping alleys clear next to adjacent properties, and any other issues listed on the Construction Operations Site Plan.
  8. Denotation of areas allowed for site access gates.
  9. Denotation of areas of work within the existing building for the period of time covered by the Site Utilization Plan, coordinated with the Project Schedule. Each area should indicate planned beginning and end dates for work in that area. Areas where all work is completed are to be noted.
  10. Construction worker ingress/egress, material staging areas in the existing building.
  11. Proposed locations of temporary protection, barricades, and temporary walls within the existing building.
  12. Denotation of all temporary exits and path of travel.

13. Indication of specific areas and their required contractual completion dates. If overtime work is required to meet the project dates it shall be at no additional cost to the Chicago Public Schools.

### 3.2 SITE UTILIZATION PLAN UPDATES

- A. The General Contractor is required to submit for approval updated Site Utilization Plans whenever conditions in the current approved plan have changed. Approval is required prior to proceeding on any changed conditions not previously approved. Requirements for updating include the following:
  1. In coordination with the project schedule provide detailed information regarding work in the existing building including phasing, vacation of existing in-use areas, and any other information requested by the Commission Representative, Principal, or Building Engineer.
  2. Revision to the site plan to reflect changing conditions regarding construction fencing, ingress and egress, student and staff staging, construction deliveries, areas of stored materials, parking, and any other construction facility revisions.

### 3.3 CONSTRUCTION OPERATIONS PLAN

- A. Construction Phasing

**END OF SECTION**

area for every 500 square feet of application. The minimum reading shall be recorded and the test area shall be repaired by the Contractor.

- F. Concrete test areas shall be patched with vapor barrier to a 100 mil minimum dry thickness, extending a minimum of one inch beyond the test perimeter.
- G. Each completed vapor barrier patch shall be smoked tested at the completion of the installation in accordance with standard protocol to confirm the integrity of the vapor barrier system. Any leaks which are identified shall be repaired, and the barrier retested, until all leaks/perforations are eliminated.
- H. Prior to placing the concrete slab over the vapor barrier, the Contractor shall certify in writing that the membrane barrier has to be installed and tested in accordance with the manufacturer's specifications and is free of leaks.

### 3.7 QUALITY ASSURANCE

- A. The Contractor shall be trained and approved or certified installer of the membrane barrier system manufacturer.
- B. A pre-installation conference shall be held prior to the application of the vapor barrier to assure proper substrate and installation conditions and procedures. The Contractor, membrane barrier subcontractor, site superintendent(s), the foundation subcontractor, Board Authorized Representative, and the MEC should be present at this meeting.
- C. The installation of the vapor barrier shall be closely monitored by the MEC. Inspections shall typically be performed prior to, during, and subsequent to the application of the product. It is the responsibility of the Contractor to notify the Owner with 48 hours of performing any portion of this work
- D. All surfaces to receive vapor barrier shall be inspected and approved by the MEC.

## ~~PART 4 - MEASUREMENT AND PAYMENT~~

### ~~4.1 CONTRACT PRICING~~

- ~~A. Volume determination and pricing shall be in accordance with the contract documents.~~

**END OF SECTION**

PUBLIC BUILDING COMMISSION OF CHICAGO

# APPENDIX M

Earth Retention System Drawings



# Unilever Manufacturing (US), Inc.

South of 26th Street and West of  
Kostner Avenue, Chicago, Illinois

OUC FILE #77558

## DRAWING INDEX

ERS0 COVER SHEET  
ERS1 EARTH RETENTION SYSTEM

## PROJECT DESCRIPTION

Project Frontier.  
Sheet pile wall only. No excavation.  
For future adjacent property excavation.

STATE LAW REQUIRES EXCAVATOR TO CONTACT DIGGER BEFORE DIGGING.  
DIGGER (312) 744-7000 - NOTIFICATION 20-40 HOURS BEFORE EXCAVATION TO  
COMMENCE.

**DIGGER**  
CHICAGO QUALITY ALERT NETWORK  
312-744-7000  
www.diggerchicago.com



SITE

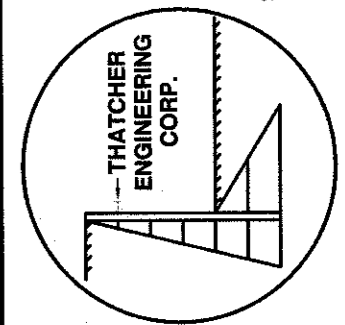
STATE OF ILLINOIS  
ROBERT STEPHEN PARKISON  
081-0042083  
Professional Engineer  
7/19/17

### COVER SHEET

UNILEVER MANUFACTURING (US), INC.  
SOUTH OF 26TH STREET AND WEST OF KOSTNER AVENUE  
CHICAGO, ILLINOIS

CONTRACT No.:  
SCALE: N.T.S.  
DATE: 7/19/17  
DRAWN BY: AP  
APPROVED BY:

**ERS0**

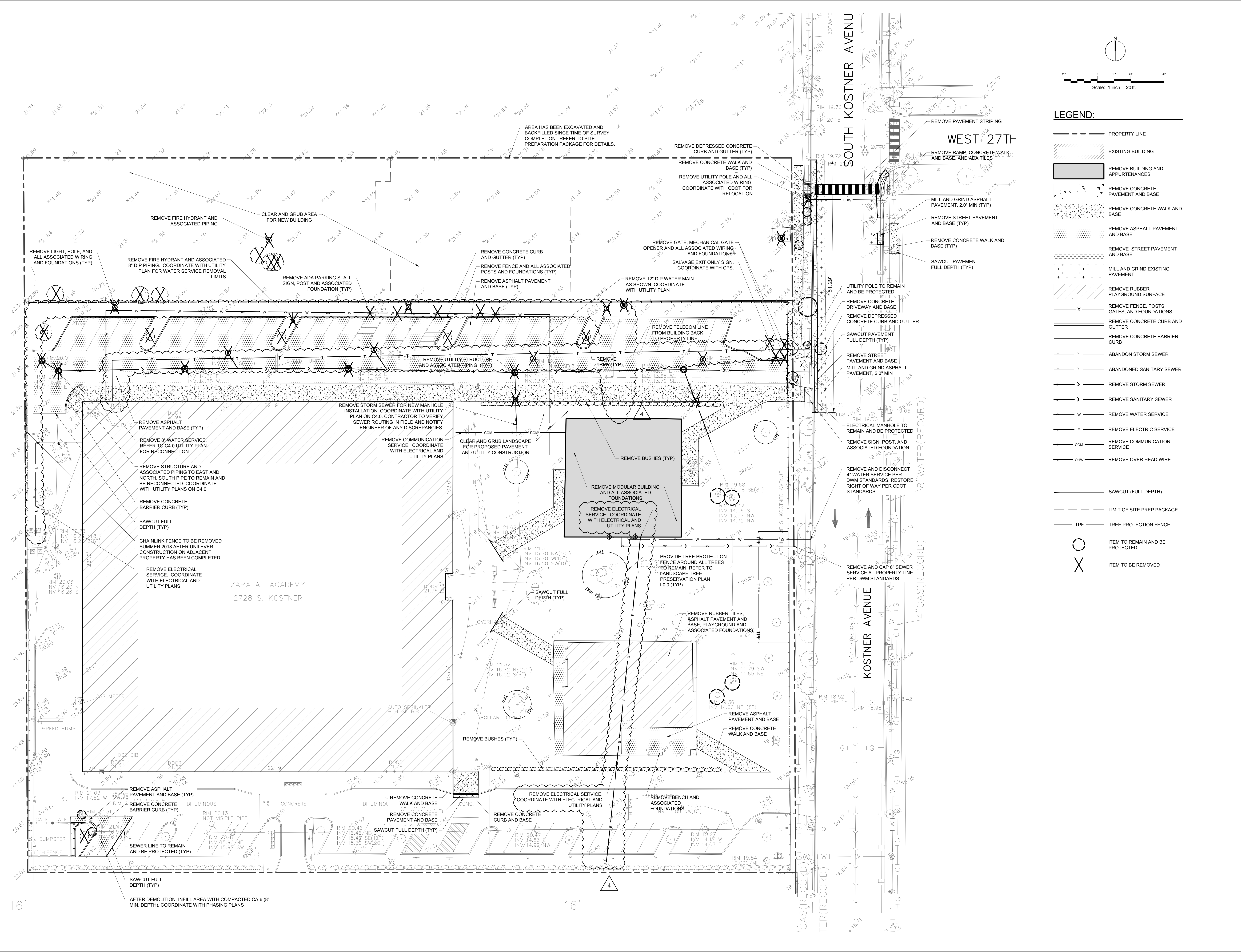


7100 INDUSTRIAL HIGHWAY  
GARY, INDIANA

ALL INFORMATION CONTAINED ON THIS DRAWING INCLUDING, BUT NOT LIMITED TO, DESIGN CONCEPTS AND DETAILS IS THE PROPERTY OF THATCHER ENGINEERING CORP. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING OR INFORMATION HEREON IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THATCHER ENGINEERING CORP. DESIGN AND DRAWINGS FOR INSTALLATION BY THATCHER FOUNDATIONS INC. ONLY.







**LEGEND:**

- PROPERTY LINE
- [Hatched Box] EXISTING BUILDING
- [Solid Grey Box] REMOVE BUILDING AND APPURTENANCES
- [Dotted Box] REMOVE CONCRETE PAVEMENT AND BASE
- [Cross-hatched Box] REMOVE CONCRETE WALK AND BASE
- [Diagonal Lines] REMOVE ASPHALT PAVEMENT AND BASE
- [Wavy Lines] REMOVE STREET PAVEMENT AND BASE
- [Stippled Box] MILL AND GRIND EXISTING PAVEMENT
- [Diagonal Lines] REMOVE RUBBER PLAYGROUND SURFACE
- [X] REMOVE FENCE, POSTS, GATES, AND FOUNDATIONS
- [Double Line] REMOVE CONCRETE CURB AND GUTTER
- [Single Line] REMOVE CONCRETE BARRIER CURB
- [Arrow] ABANDON STORM SEWER
- [Arrow] ABANDONED SANITARY SEWER
- [Arrow] REMOVE STORM SEWER
- [Arrow] REMOVE SANITARY SEWER
- [Arrow] REMOVE WATER SERVICE
- [Arrow] REMOVE ELECTRIC SERVICE
- [Arrow] REMOVE COMMUNICATION SERVICE
- [Arrow] REMOVE OVER HEAD WIRE
- [Dashed Line] SAWCUT (FULL DEPTH)
- [Dashed Line] LIMIT OF SITE PREP PACKAGE
- [Circle with X] TPF TREE PROTECTION FENCE
- [Circle with X] ITEM TO REMAIN AND BE PROTECTED
- [Circle with X] ITEM TO BE REMOVED



DEPARTMENT OF FACILITIES  
CAPITAL IMPROVEMENT PROGRAM



1128 WEST CHICAGO AVE.  
2ND FLOOR  
CHICAGO, ILLINOIS 60642  
P 312.624.2600  
F 312.642.6816

INVEC CORP.  
231 S LASALLE ST, STE 600  
CHICAGO, IL 60604  
F 312-294-0501

TERRA ENGINEERING, LTD.  
225 W OHIO ST, 4TH FL  
CHICAGO, IL 60654  
F 312-467-0123

HUESSLER ASSOCIATES, INC.  
3860 N LAKE SHORE DRIVE, STE 500  
CHICAGO, IL 60613  
F 773-975-6467

SHEN MILSON & MILKE LLC  
22 N MIDWEST PLAZA #1480  
CHICAGO, IL 60605  
F 312-253-4585

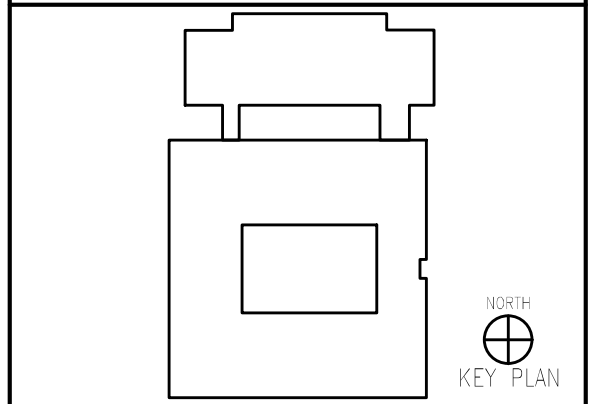
IRCA  
4302 G CRYSTAL LAKE RD  
MCHEENRY, IL 60050  
F 815-385-6560

EDGE ASSOCIATES, INC.  
150 HOUSTON ST, STE 304  
BOSTON, IL 60505  
F 630-326-9547

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/21/2016	SCHEMATIC DESIGN
2	11/10/2016	ISSUE FOR PERMIT
3	02/07/2017	ISSUE FOR CONSTRUCTION DOCUMENTS
4	03/14/2017	ISSUE FOR CONSTRUCTION DOCUMENTS
5	03/17/2017	ISSUE FOR PERMIT
6	04/10/2017	ISSUE FOR CONSTRUCTION DOCUMENTS
7	07/28/2017	ISSUE FOR BID
8	08/07/2017	ISSUE FOR BID
9	08/22/2017	ISSUE FOR BID
10	08/23/2017	ISSUE FOR BID
11	09/11/2017	ISSUE FOR BID

DRAWN BY:  
CHECKED BY:  
SCALE:  
FILE NAME:



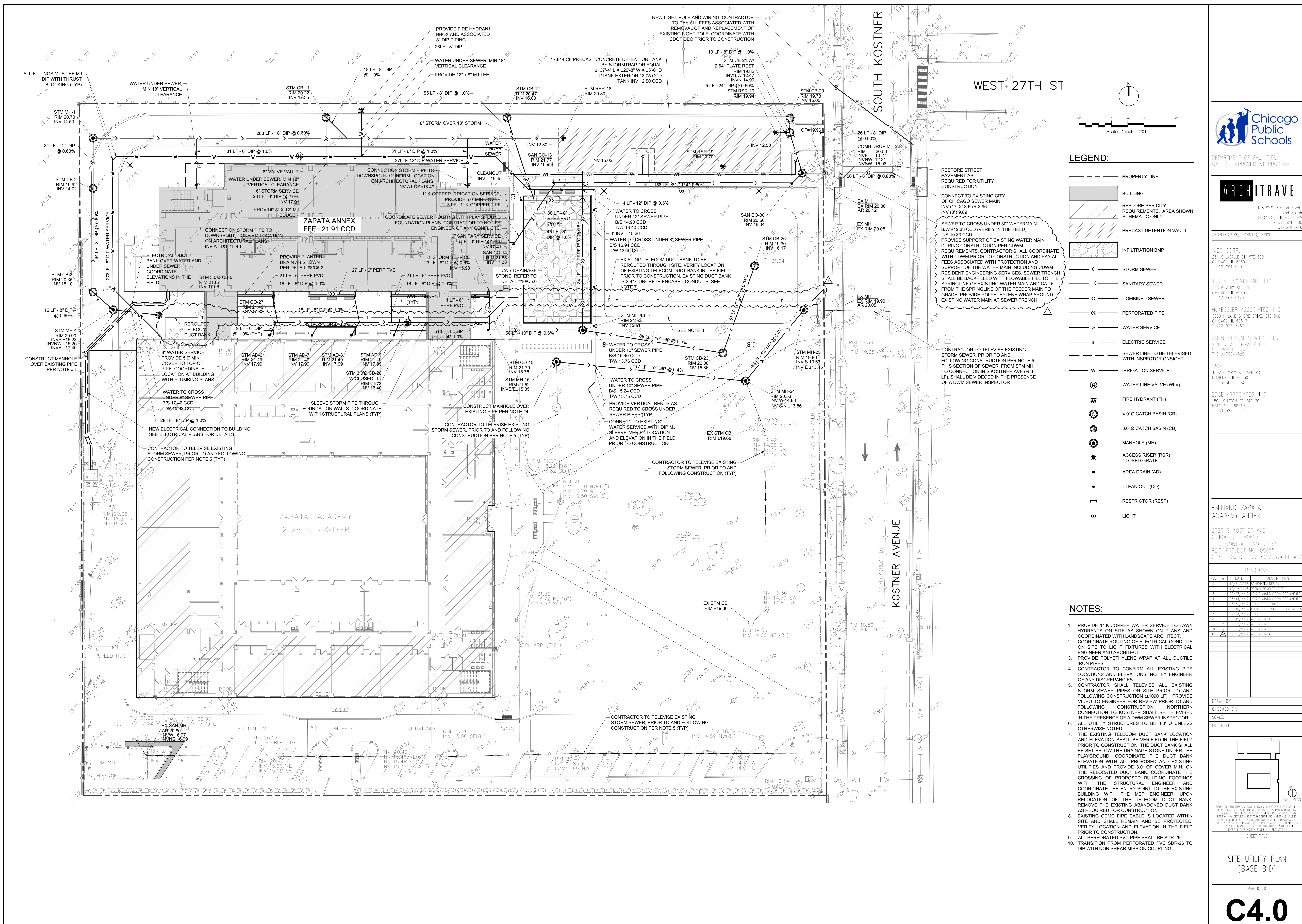
WARNING: ASSOCIATED CONTRACTING SERVICES ARE OF ANY BE PROVIDED BY THE BIDDING OR CONTRACTOR. THE PLAN IS AVAILABLE IN THE SCHOOL FOR REVIEW UPON REQUEST. THE PERSONS WHO REVIEW AND/OR SIGN CONTRACTS, UTILITIES, AND/OR OTHER SERVICES, SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED AND FOR OBTAINING NECESSARY PERMITS AND/OR APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE APPROPRIATE AGENCIES.

**SHEET TITLE**

SITE DEMOLITION PLAN

DRAWING NO.

**C1.0**



DEPARTMENT OF FACILITIES  
CAPITAL IMPROVEMENT PROGRAM



1128 WEST CHICAGO AVE.  
2ND FLOOR  
CHICAGO, ILLINOIS 60642  
P 312.624.2600  
F 312.642.6816

ARCHITECTURE/PLANNING/DESIGN  
INVEC CORP.  
231 S. LASSALLE ST., STE 600  
CHICAGO, IL 60604  
P 312-294-5001  
F 312-294-5001

TERRA ENGINEERING, LTD.  
3860 N. LAKE SHORE DRIVE, STE 500  
CHICAGO, IL 60654  
P 312-467-0123  
F 312-467-0123

HUMBLESSER ASSOCIATES, INC.  
3860 N. LAKE SHORE DRIVE, STE 500  
CHICAGO, IL 60613  
P 773-975-6467  
F 773-975-6467

SHEN MILSON & MILKE LLC  
321 N. HENRIE ST., 4TH FL.  
CHICAGO, IL 60610  
P 312-424-4585  
F 312-424-4585

IRCA  
4302 G. CRYSTAL LAKE RD.  
MICHIGAN, IL 60050  
P 815-355-6569  
F 815-355-6569

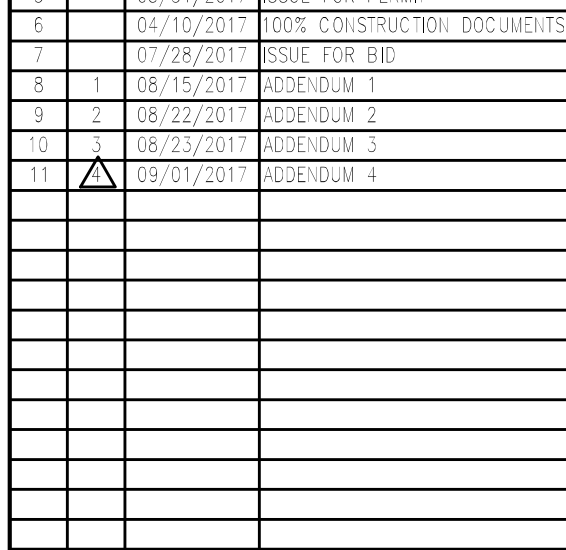
EDGE ASSOCIATES, INC.  
150 HOUSTON ST., STE 304  
BATAVIA, IL 60510  
P 630-326-9547  
F 630-326-9547

EMILIANO ZAPATA  
ACADEMY ANNEX

2728 S. KOSTNER AVE  
CHICAGO, IL 60623  
PBC CONTRACT NO. C1576  
PBC PROJECT NO. 05055  
CPS PROJECT NO. 2017-23611-ANX

NO.	DATE	DESCRIPTION
1	10/21/2016	SCHEMATIC DESIGN
2	02/07/2017	02 - CONSTRUCTION DOCUMENTS
3	03/14/2017	03 - CONSTRUCTION DOCUMENTS
4	04/19/2017	04 - CONSTRUCTION DOCUMENTS
5	07/28/2017	05 - FOR BID
6	08/22/2017	06 - FOR BID
7	08/22/2017	06 - FOR BID
8	08/22/2017	06 - FOR BID
9	08/22/2017	06 - FOR BID
10	08/22/2017	06 - FOR BID

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CHECKED BY:  
SCALE:  
FILE NAME:



WARNING: ASSOCIATED CONTRACTING BIDDING MATERIALS ARE OF ANY BE PROVIDED BY THE BIDDING. ALL INFORMATION SHOULD BE AVAILABLE IN THE SCHOOL FOR REVIEW PRIOR TO BID. FOR FURTHER INFORMATION, CONTACT THE ARCHITECT OR ENGINEER. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

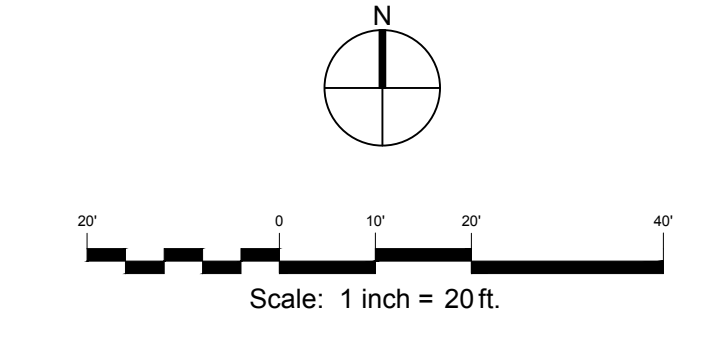
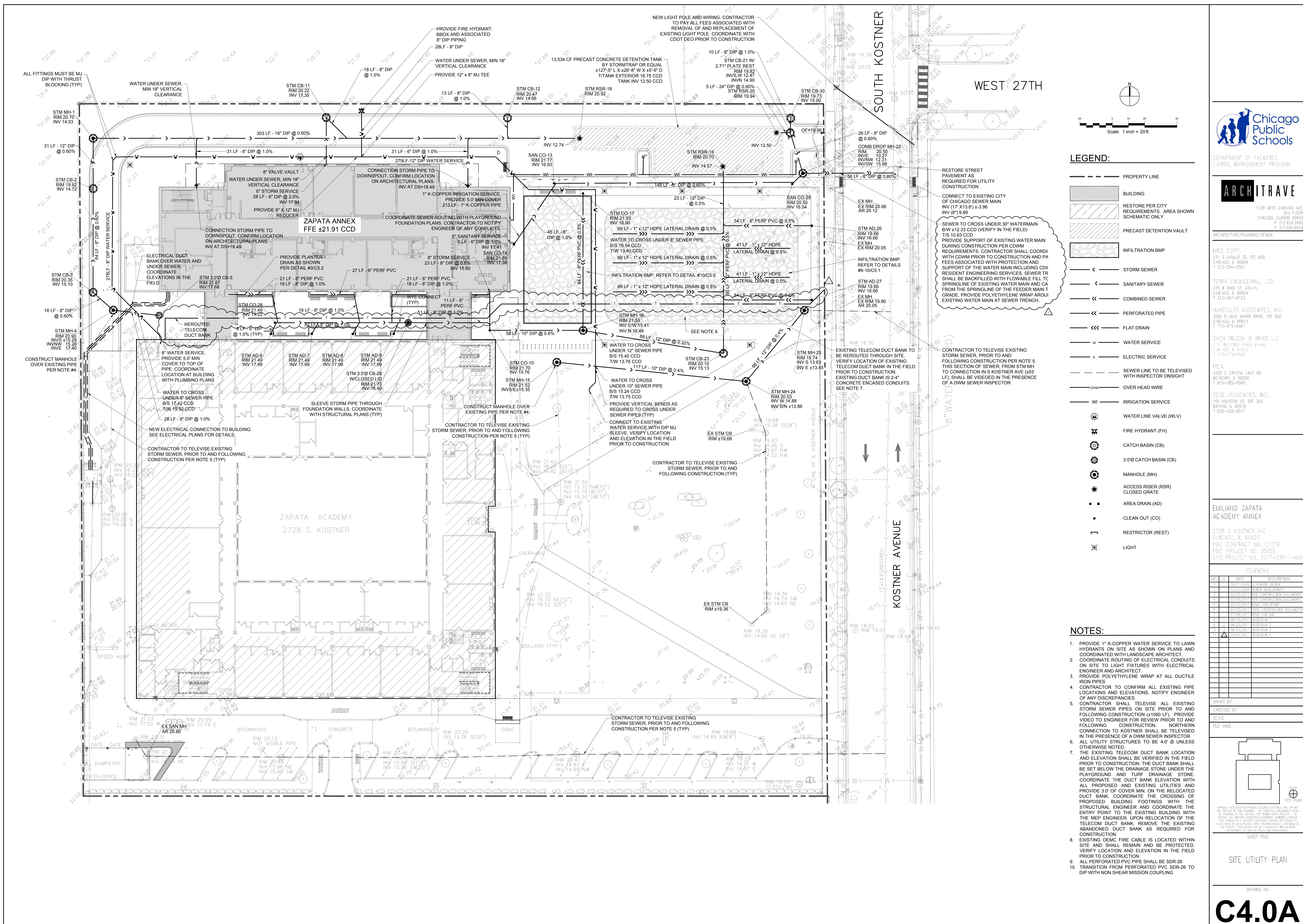
SHEET TITLE  
SITE UTILITY PLAN  
(BASE BID)  
DRAWING NO.  
**C4.0**

LEGEND:

- PROPERTY LINE
- ▭ BUILDING
- ▨ RESTORE PER CITY REQUIREMENTS. AREA SHOWN SCHEMATIC ONLY.
- ▩ PRECAST DETENTION VAULT
- ▧ INFILTRATION BMP
- STORM SEWER
- SANITARY SEWER
- COMBINED SEWER
- PERFORATED PIPE
- WATER SERVICE
- ELECTRIC SERVICE
- SEWER LINE TO BE TELEVISED WITH INSPECTOR ON-SIGHT
- IRRIGATION SERVICE
- ⊙ WATER LINE VALVE (WLV)
- ⊙ FIRE HYDRANT (FH)
- ⊙ 4.0' Ø CATCH BASIN (CB)
- ⊙ 3.0' Ø CATCH BASIN (CB)
- ⊙ MANHOLE (MH)
- ⊙ ACCESS RISER (RSR)
- ⊙ CLOSED GRATE
- ⊙ AREA DRAIN (AD)
- ⊙ CLEAN OUT (CO)
- ⊙ RESTRICTOR (REST)
- ⊙ LIGHT

NOTES:

- PROVIDE 1" K-COPPER WATER SERVICE TO LAWN HYDRANTS ON SITE AS SHOWN ON PLANS AND COORDINATED WITH LANDSCAPE ARCHITECT.
- COORDINATE ROUTING OF ELECTRICAL CONDUITS ON SITE TO LIGHT FIXTURES WITH ELECTRICAL ENGINEER AND ARCHITECT.
- PROVIDE POLYETHYLENE WRAP AT ALL DUCTILE IRON PIPES.
- CONTRACTOR TO CONFIRM ALL EXISTING PIPE LOCATIONS AND ELEVATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL TELEVISE ALL EXISTING STORM SEWER PIPES ON SITE PRIOR TO AND FOLLOWING CONSTRUCTION (±1000 LF). PROVIDE VIDEO TO ENGINEER FOR REVIEW PRIOR TO AND FOLLOWING CONSTRUCTION. NORTHERN CONNECTION TO KOSTNER SHALL BE TELEVISED IN THE PRESENCE OF A DWM SEWER INSPECTOR.
- ALL UTILITY STRUCTURES TO BE 4.0' Ø UNLESS OTHERWISE NOTED.
- THE EXISTING TELECOM DUCT BANK LOCATION AND ELEVATION SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. THE DUCT BANK SHALL BE SET BELOW THE DRAINAGE STONE UNDER THE PLAYGROUND. COORDINATE THE DUCT BANK ELEVATION WITH ALL PROPOSED AND EXISTING UTILITIES AND PROVIDE 3.0' OF COVER MIN. ON THE RELOCATED DUCT BANK. COORDINATE THE CROSSING OF PROPOSED BUILDING FOOTINGS WITH THE STRUCTURAL ENGINEER AND COORDINATE THE ENTRY POINT TO THE EXISTING BUILDING WITH THE MEP ENGINEER. UPON RELOCATION OF THE TELECOM DUCT BANK, REMOVE THE EXISTING ABANDONED DUCT BANK AS REQUIRED FOR CONSTRUCTION.
- EXISTING OEMC FIRE CABLE IS LOCATED WITHIN SITE AND SHALL REMAIN AND BE PROTECTED. VERIFY LOCATION AND ELEVATION IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL PERFORATED PVC PIPE SHALL BE SDR-26 TRANSITION FROM PERFORATED PVC SDR-26 TO DIP WITH NON SHEAR MISSION COUPLING.



**LEGEND:**

- PROPERTY LINE
- ▨ BUILDING
- ▨ RESTORE PER CITY REQUIREMENTS, AREA SHOWN SCHEMATIC ONLY.
- ▨ PRECAST DETENTION VAULT
- ▨ INFILTRATION BMP
- STORM SEWER
- SANITARY SEWER
- COMBINED SEWER
- PERFORATED PIPE
- FLAT DRAIN
- WATER SERVICE
- ELECTRIC SERVICE
- SEWER LINE TO BE TELEVIEWED WITH INSPECTOR ON-SIGHT
- OVER HEAD WIRE
- IRRIGATION SERVICE
- WATER LINE VALVE (WLV)
- ⊕ FIRE HYDRANT (FH)
- ⊙ CATCH BASIN (CB)
- ⊙ 3'0" CATCH BASIN (CB)
- ⊙ MANHOLE (MH)
- ⊙ ACCESS RISER (RSR) CLOSED GRATE
- ⊙ AREA DRAIN (AD)
- ⊙ CLEAN OUT (CO)
- ⊙ RESTRICTOR (REST)
- ⊙ LIGHT

**NOTES:**

1. PROVIDE 1" K-COPPER WATER SERVICE TO LAWN HYDRANTS ON SITE AS SHOWN ON PLANS AND COORDINATED WITH LANDSCAPE ARCHITECT.
2. COORDINATE ROUTING OF ELECTRICAL CONDUITS ON SITE TO LIGHT FIXTURES WITH ELECTRICAL ENGINEER AND ARCHITECT.
3. PROVIDE POLYETHYLENE WRAP AT ALL DUCTILE IRON PIPES.
4. CONTRACTOR TO CONFIRM ALL EXISTING PIPE LOCATIONS AND ELEVATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
5. CONTRACTOR SHALL TELEVIEW ALL EXISTING STORM SEWER PIPES ON SITE PRIOR TO AND FOLLOWING CONSTRUCTION (1000 LF). PROVIDE VIDEO TO ENGINEER FOR REVIEW PRIOR TO AND FOLLOWING CONSTRUCTION. NORTHERN CONNECTION TO KOSTNER SHALL BE TELEVIEWED IN THE PRESENCE OF A DWM SEWER INSPECTOR.
6. ALL UTILITY STRUCTURES TO BE 4'0" Ø UNLESS OTHERWISE NOTED.
7. THE EXISTING TELECOM DUCT BANK LOCATION AND ELEVATION SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. THE DUCT BANK SHALL BE SET BELOW THE DRAINAGE STONE UNDER THE PLAYGROUND AND TURF DRAINAGE STONE. COORDINATE THE DUCT BANK ELEVATION WITH ALL PROPOSED AND EXISTING UTILITIES AND PROVIDE 3'0" OF COVER MIN. ON THE RELOCATED DUCT BANK. COORDINATE THE CROSSING OF PROPOSED BUILDING FOOTINGS WITH THE STRUCTURAL ENGINEER AND COORDINATE THE ENTRY POINT TO THE EXISTING BUILDING WITH THE MEP ENGINEER. UPON RELOCATION OF THE TELECOM DUCT BANK, REMOVE THE EXISTING ABANDONED DUCT BANK AS REQUIRED FOR CONSTRUCTION.
8. EXISTING ODMC FIBRE CABLE IS LOCATED WITHIN SITE AND SHALL REMAIN AND BE PROTECTED. VERIFY LOCATION AND ELEVATION IN THE FIELD PRIOR TO CONSTRUCTION.
9. ALL PERFORATED PVC PIPE SHALL BE SDR-26 TRANSITION FROM PERFORATED PVC SDR-26 TO DIP WITH NON SHEAR MISSION COUPLING.



DEPARTMENT OF FACILITIES  
CAPITAL IMPROVEMENT PROGRAM



1128 WEST CHICAGO AVE.  
2ND FLOOR  
CHICAGO, ILLINOIS 60642  
P 312.624.2000  
F 312.642.6810

ARCHITECTURE/PLANNING/DESIGN  
INVEC CORP.  
231 S LASALLE ST, STE 600  
CHICAGO, IL 60604  
P 312-294-5001

TERRA ENGINEERING, LTD.  
3660 N LAKE SHORE DRIVE, STE 500  
CHICAGO, IL 60654  
P 312-467-0123

HUMBLESSER ASSOCIATES, INC.  
3360 N LAKE SHORE DRIVE, STE 500  
CHICAGO, IL 60613  
P 312-975-6467

SHEN MILSON & MILKE LLC  
32 N NORTON AVENUE, STE 1100  
CHICAGO, IL 60610  
P 312-437-4585

IRCA  
4302 G CRYSTAL LAKE RD  
MICHIGAN, IL 60050  
P 815-385-6560

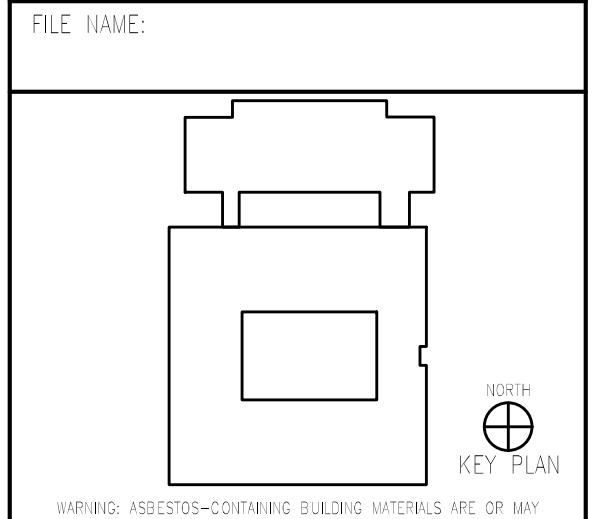
EDGE ASSOCIATES, INC.  
150 HOUSTON ST, STE 304  
BATAVIA, IL 60510  
P 630-326-9547

EMILIANO ZAPATA  
ACADEMY ANNEX  
2728 S KOSTNER AVE  
CHICAGO, IL 60623  
PBC CONTRACT NO. C1576  
PBC PROJECT NO. 05055  
CPS PROJECT NO. 2017-23611-ANX

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/21/2016	SCHEMATIC DESIGN
2	11/02/2016	SCHEMATIC DESIGN
3	02/07/2017	SCHEMATIC DESIGN DOCUMENTS
4	03/14/2017	SCHEMATIC DESIGN DOCUMENTS
5	04/10/2017	SCHEMATIC DESIGN DOCUMENTS
6	04/10/2017	SCHEMATIC DESIGN DOCUMENTS
7	07/28/2017	SCHEMATIC DESIGN DOCUMENTS
8	08/22/2017	SCHEMATIC DESIGN DOCUMENTS
9	08/22/2017	SCHEMATIC DESIGN DOCUMENTS
10	09/17/2017	SCHEMATIC DESIGN DOCUMENTS

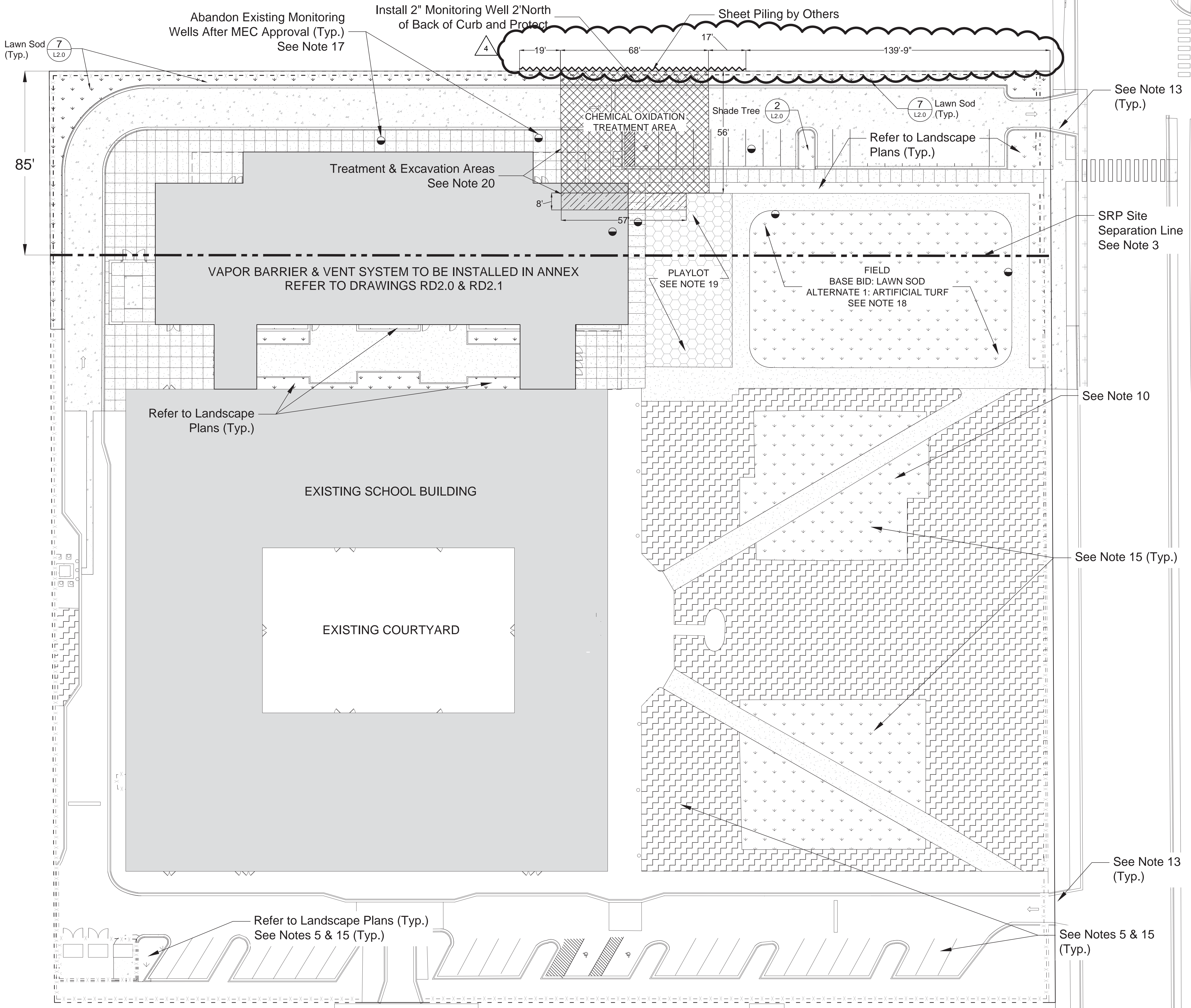
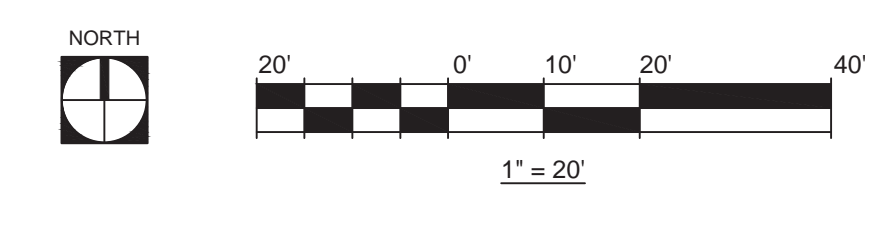
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CHECKED BY:  
SCALE:  
FILE NAME:



SHEET TITLE  
SITE UTILITY PLAN

DRAWING NO.

**C4.0A**



- LEGEND**
- PLAYGROUND PROTECTIVE SURFACING. (3' MINIMUM CLEAN FILL)
  - CONCRETE PAVING. (PER CONSTRUCTION DETAIL)
  - LANDSCAPE AREA (3' MINIMUM CLEAN FILL)
  - EXISTING LANDSCAPE AREA TO BE REPAIRED/REPLACED IN ACCORDANCE WITH SRP REQUIREMENTS. SEE NOTE 3
  - CHEMICAL OXIDATION TREATMENT AREA REFER TO SHEETS EX2.0 & EX3.0
  - 10' EXCAVATION AREA REFER TO SHEETS EX2.0 & EX3.0
  - SRP SITE SEPARATION LINE SEE NOTE 3
  - APPROXIMATE LOCATION OF EXISTING MONITORING WELL - TO BE VERIFIED BY CONTRACTOR

- GENERAL NOTES**
1. PROPOSED FUTURE CONSTRUCTION SHOWN ON THE REMEDIATION PLANS ARE FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR SHALL NOT USE THE REMEDIATION PLANS FOR ANY FUTURE PROPOSED CONSTRUCTION WORK.
  2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND FIELD CONDITIONS. ALL DIMENSIONS AND DETAILS ARE TAKEN FROM RECORD DRAWINGS AND ARE NOT GUARANTEED TO BE ACCURATE.
  3. THE EXISTING SCHOOL AREA AND ANNEX ADDITION AREA ARE BOTH ENROLLED IN THE IEPA SITE REMEDIATION PROGRAM (SRP). THE EXISTING SCHOOL SITE HAS A NO FURTHER REMEDIATION LETTER (NFR) WITH ENGINEERED BARRIERS INSTALLED ACROSS THE SITE WHICH MUST BE REPAIRED/REPLACED PER CONTRACT DRAWINGS. THE ANNEX ADDITION INCLUDES REMEDIATION AND INSTALLATION OF NEW ENGINEERED BARRIERS. CONTRACTOR MUST FULLY COMPLY WITH THE REQUIREMENTS OF THIS DESIGN AND THE NFR LETTER ISSUED FOR THE SITE.
  4. CONTRACTOR SHALL PREPARE A SITE SPECIFIC HEALTH AND SAFETY PLAN IN ACCORDANCE WITH OSHA 29 CFR 1926.65. ALL SITE WORKERS MUST ADHERE TO THE PLAN PROCEDURES AND REQUIREMENTS.
  5. SOIL EXCAVATION SHALL BE KEPT TO THE EXTENT REQUIRED TO MEET MINIMUM ENVIRONMENTAL REQUIREMENTS AND THE PROPOSED CONSTRUCTION WORK AS SPECIFIED IN THIS DRAWING AND CONTRACT DOCUMENTS. ALL EXCAVATED MATERIALS MUST BE DISPOSED OFFSITE IN ACCORDANCE WITH SECTION 312318.13. NO EXCAVATED MATERIALS CAN BE REUSED ONSITE AS BACKFILL, TOP SOIL, OR CU STRUCTURAL SOIL.
  6. STOCKPILING OF SOIL ON THE SITE SHALL BE PERFORMED IN STRICT ADHERENCE TO SPECIFICATION 312318.13. CONTRACTOR IS ENCOURAGED TO DIRECT LOAD ALL EXCAVATED SOIL/FILL.
  7. CROSS CONTAMINATED SOIL/FILL GENERATED BASED UPON CONTRACTOR'S NEGLIGENCE SHALL BE DISPOSED OF OFFSITE AND REPLACED WITH CLEAN FILL AT CONTRACTOR'S EXPENSE.
  8. HISTORICAL RECORDS INDICATE THAT THE PROPERTY WAS PREVIOUSLY OCCUPIED BY SEVERAL BUILDINGS. THESE BUILDINGS HAVE BEEN DEMOLISHED, BUT REMAINING FOUNDATION SECTIONS ARE ASSUMED TO EXIST. REFER TO HISTORIC SANBORN FIRE INSURANCE MAPS WITHIN PHASE I ENVIRONMENTAL SITE ASSESSMENT PROVIDED AS REFERENCE ENVIRONMENTAL DOCUMENT FOR LOCATIONS OF FORMER BUILDING FOUNDATIONS. SOIL/FILL MATERIALS ACROSS THE SITE CONTAIN VARIOUS AMOUNTS OF CONCRETE, BRICK AND GRAVEL. SOME AREAS MAY CONTAIN AN ESTIMATED 20-30% DEBRIS. NO ADDITIONAL COSTS SHALL BE PERMITTED FOR THESE MIXED SOIL/FILL MATERIALS REQUIRING DISPOSAL PER SECTION 312318.13.
  9. CONTRACTOR SHALL NOT UTILIZE ANY SOIL/FILL MATERIALS EXCAVATED FOR CONSTRUCTION AT ANY OTHER OFF-SITE PROPERTY. ALL SOIL/FILL THAT REQUIRE REMOVAL OFF-SITE AS PART OF CONSTRUCTION SHALL BE DISPOSED OF IN ACCORDANCE WITH SPECIFICATION 312318.13.
  10. CLEAN CONCRETE FOUNDATIONS OR SLABS REMOVED DURING EXCAVATION/DEMOLITION WORK CAN BE TRANSPORTED TO AN APPROVED RECYCLING FACILITY. CONCRETE RUBBLE COMINGLED, MIXED OR CROSS CONTAMINATED WITH OTHER SOIL/FILL MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH SPECIFICATION 312318.13.
  11. ALL FIELD EQUIPMENT SHALL BE DECONTAMINATED AFTER USE IN SOIL/FILL AREAS DESIGNATED FOR DISPOSAL PER SECTION 312318.13 PRIOR TO USE IN HANDLING IMPORTED CLEAN FILL.
  12. SHOULD A SUSPECT UST BE ENCOUNTERED, CONTRACTOR SHALL STOP WORK WITHIN 30 FEET OF THE SUSPECT UST AND NOTIFY THE MANAGING ENVIRONMENTAL CONSULTANT IMMEDIATELY. CONTRACTOR SHALL PROVIDE EQUIPMENT AND MANPOWER TO ASSIST IN DETERMINING THE SIZE OF THE UST AS DIRECTED BY THE MANAGING ENVIRONMENTAL CONSULTANT.
  13. ENVIRONMENTAL SOIL/FILL CONDITIONS IN AREAS OUTSIDE THE PROPERTY BOUNDARY ARE NOT KNOWN. SOIL/FILL REMOVED FROM THESE AREAS SHALL BE HANDLED FOR OFFSITE DISPOSAL PER SPECIFICATION 312318.13 AS PART OF CONTRACT WORK AND NOT PERMITTED FOR REUSE ON THE PROPERTY.
  14. ALL SOIL/FILL MATERIALS DESIGNATED FOR DISPOSAL PER SPECIFICATION 312318.13 SHALL BE CLASSIFIED AS SPECIAL WASTE OR NON-SPECIAL WASTE. CONTRACTOR'S PROPOSED DISPOSAL FACILITY SHALL BE PERMITTED TO ACCEPT **BOTH** CLASSIFICATIONS OF WASTE.
  15. ALL IMPORTED BACKFILL USED FOR THE PROJECT SHALL BE IN ACCORDANCE WITH SPECIFICATION 312323 AND NOT EXCEED APPENDIX B, SECTION 742, TABLE A; TACO: 35 ILL. ADM. CODE 742 VALUES FOR 35 ILL. ADM CODE 740 APPENDIX A TCL PARAMETERS. THIS INCLUDES BACKFILL REQUIRED FOR WORK IN PARKWAYS AND ROAD AREAS.
  16. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING STORM WATER MANAGEMENT PLAN IN ACCORDANCE WITH SECTION 312318.13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PUMPING PERMIT FROM THE CITY OF CHICAGO DEPARTMENT OF BUILDINGS AND DISCHARGE AUTHORIZATION/APPROVAL FROM MWRDGC PRIOR TO DISCHARGE OF WATER INTO THE CITY SEWER SYSTEM.
  17. ENVIRONMENTAL MONITORING WELLS REMAIN ONSITE. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE MEC PRIOR TO ABANDONMENT. ABANDONMENT SHALL INCLUDE REMOVAL OF THE CASING TO A MINIMUM OF 2 FEET BELOW SUBGRADE AND BACKFILL WITH BENTONITE.
  18. FIELD REQUIRES 3 FEET OF CLEAN FILL MATERIAL REGARDLESS OF WHICH OPTION IS INSTALLED (LAWN SOD OR ARTIFICIAL TURF).
  19. COMBINATION OF RUBBER AND CLEAN FILL MUST BE MINIMUM 3 FEET THROUGHOUT ENTIRE PLAYLOT.
  20. CONTRACTOR SHALL COMPLETE CHEMICAL OXIDATION TREATMENT IN THE DESIGNATED AREA. REFER TO SHEETS EX2.0 & EX3.0 AND SECTION 319000. CONTRACTOR SHALL NOT PERFORM ANY CIVIL OR STRUCTURAL EXCAVATION WORK IN THE TREATMENT AREA PRIOR TO COMPLETION OF THE TREATMENT ACTIVITIES.



**ARCHITRAVE**  
1128 WEST CHICAGO AVE  
CHICAGO, ILLINOIS 60642  
P. 312.424.2970  
F. 312.462.2919

ARCHITECTURE/PLANNING/DESIGN  
JWW ENGINEERING CONSULTANTS  
231 S. MADISON ST., STE. 400  
CHICAGO, IL 60604  
T. 312-294-0501

TERRA ENGINEERING, LTD.  
225 W. OHIO ST., 4TH FL.  
CHICAGO, IL 60604  
T. 312-447-0123

HUKESLER ASSOCIATES, INC.  
3600 N. LAKE SHORE DRIVE, STE. 500  
CHICAGO, IL 60643  
T. 773-975-6467

SHEN MILSOM & WILKE LLC  
7 N. RIVERSIDE PLAZA #1400  
CHICAGO, IL 60606  
T. 312-559-4385

IRCA  
4302 S. CRYSTAL LAKE RD.  
MICHIGAN, IL 60550  
815-358-5560

EDGE ASSOCIATES, INC.  
320 HUNTERTON ST., STE. 304  
CHICAGO, IL 60607  
T. 630-336-9547

CARNOW, CONIBEAR & ASSOC., LTD.  
500 W. VAN BUREN ST., STE. 500  
CHICAGO, IL 60607  
T. 312-782-1449

PROFESSIONAL OF RECORD STAMP

EMILIANO ZAPATA  
ACADEMY ANNEX  
3728 S. KOSTNER AVE  
CHICAGO, IL 60623

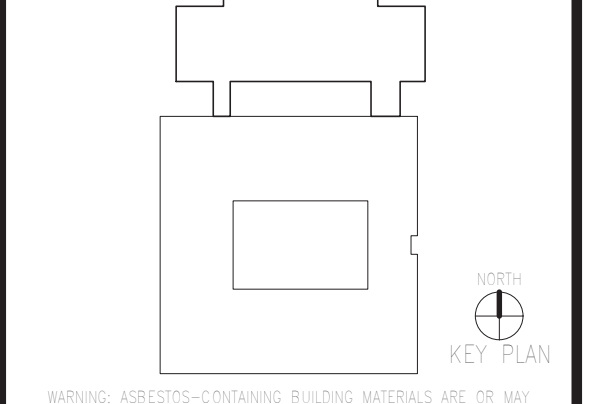
PROJECT NO. 2017-23611-ANX

**REVISIONS**

NO.	DATE	DESCRIPTION
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2	03/15/2018	ISSUE CONSTRUCTION DOCUMENTS
3	03/15/2018	ISSUE CONSTRUCTION DOCUMENTS
4	07/26/2017	ISSUE PERMITS
5	05/03/2017	REVISION 1
6	05/03/2017	REVISION 2

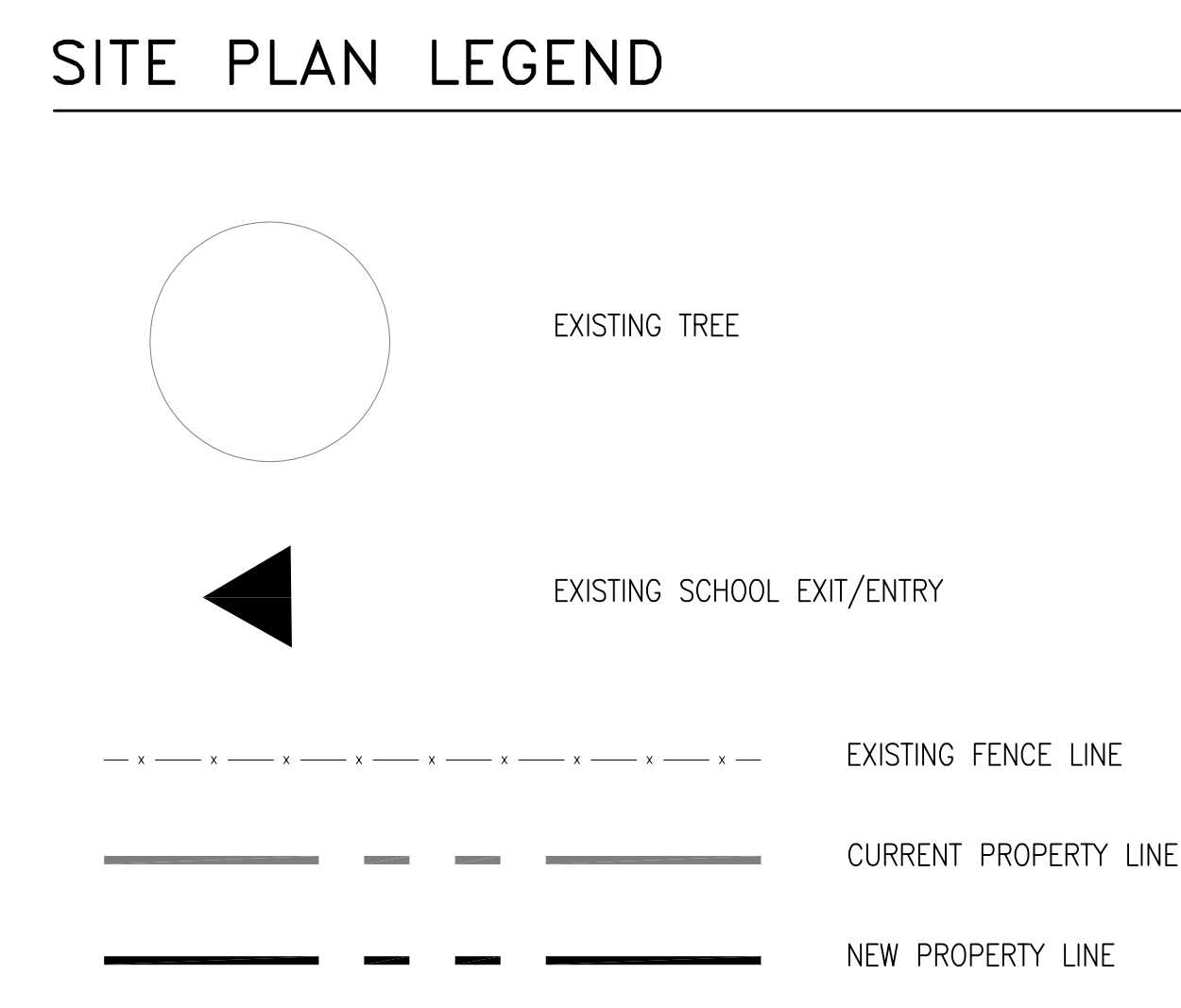
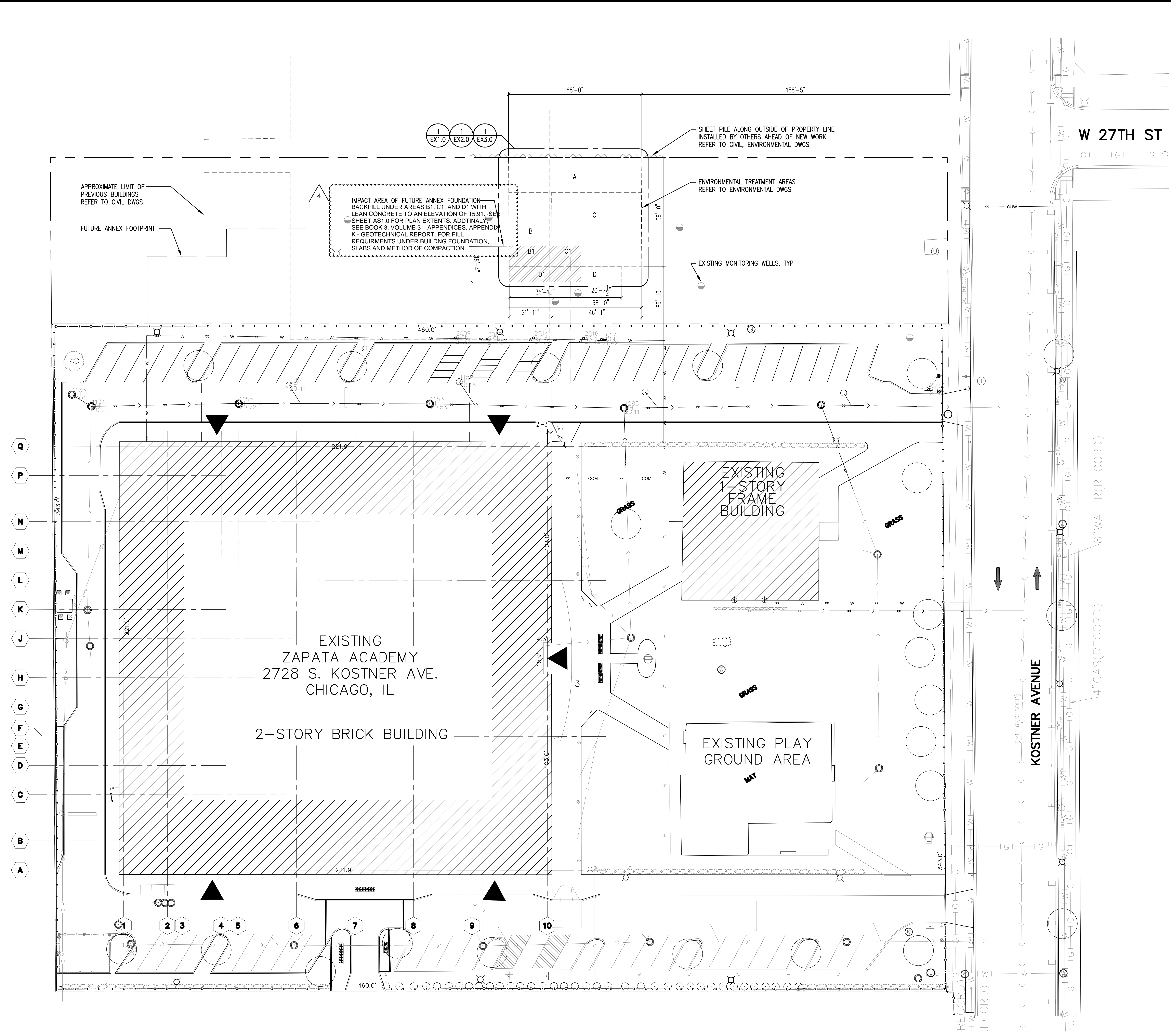
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CHECKED BY: DSB

SCALE: 1"=20'  
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SHEET TITLE  
**REMEDIATION PLAN**

**RD1.0**



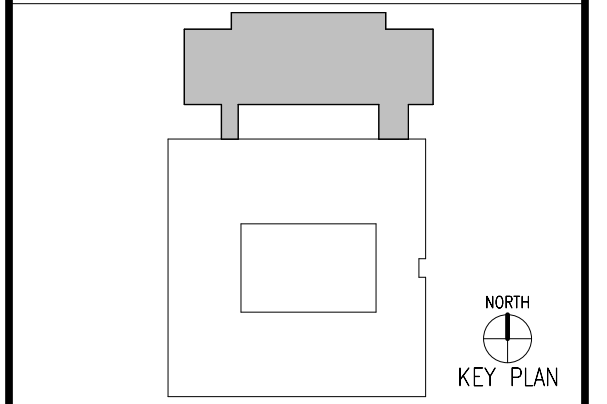
**ARCHITRAVE**  
1128 WEST CHICAGO AVE.  
2ND FLOOR  
CHICAGO, ILLINOIS 60642  
P 312.624.2600  
F 312.642.6916

- ARCHITECTURE/PLANNING/DESIGN
- IMEG CORP.  
231 S LASALLE ST, STE 600  
CHICAGO, IL 60604  
T 312-294-0501
  - TERRA ENGINEERING, LTD.  
225 W OHIO ST, 4TH FL  
CHICAGO, IL 60654  
T 312-467-0123
  - HUKESLER ASSOCIATES, INC.  
3660 N LAKE SHORE DRIVE, STE 500  
CHICAGO, IL 60613  
T 773-975-6467
  - SHEN MILSON & WILKE LLC  
2 N RIVERSIDE PLAZA #1460  
CHICAGO, IL 60606  
T 312-559-4895
  - ILLINOIS ROOF CONSULTING ASSOCIATES, INC.  
4302-G CRISTAL LAKE RD  
MCHENRY, IL 60050  
T 815-385-6560
  - EDGE ASSOCIATES, INC.  
150 HOUSTON ST, STE 304  
BATAVIA, IL 60210  
T 630-952-4422
  - CARNOW, CONIBEAR & ASSOCIATES, LTD.  
600 W VAN BUREN ST, STE 500  
CHICAGO, IL 60607  
T 312-782-4486

EMILIANO ZAPATA  
ACADEMY ANNEX  
2728 S KOSTNER AVE  
CHICAGO, IL 60623  
PBC CONTRACT NO. C1576  
PBC PROJECT NO. 5055  
CPS PROJECT NO. 2017-23611-ANX

REVISIONS		
NO.	DATE	DESCRIPTION
7	07/28/2017	ISSUE FOR BID
11	09/07/2017	ADDENDUM 4

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CHECKED BY: TS  
SCALE: 1" = 20'-0"  
FILE NAME: DWG\_ARCH\_SITE\_REMEDIATION\_PLAN\_20170728



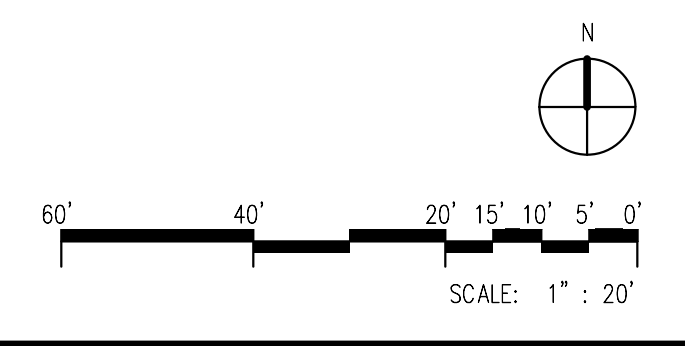
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SHEET TITLE  
ARCHITECTURAL SITE  
REMEDIATION PLAN

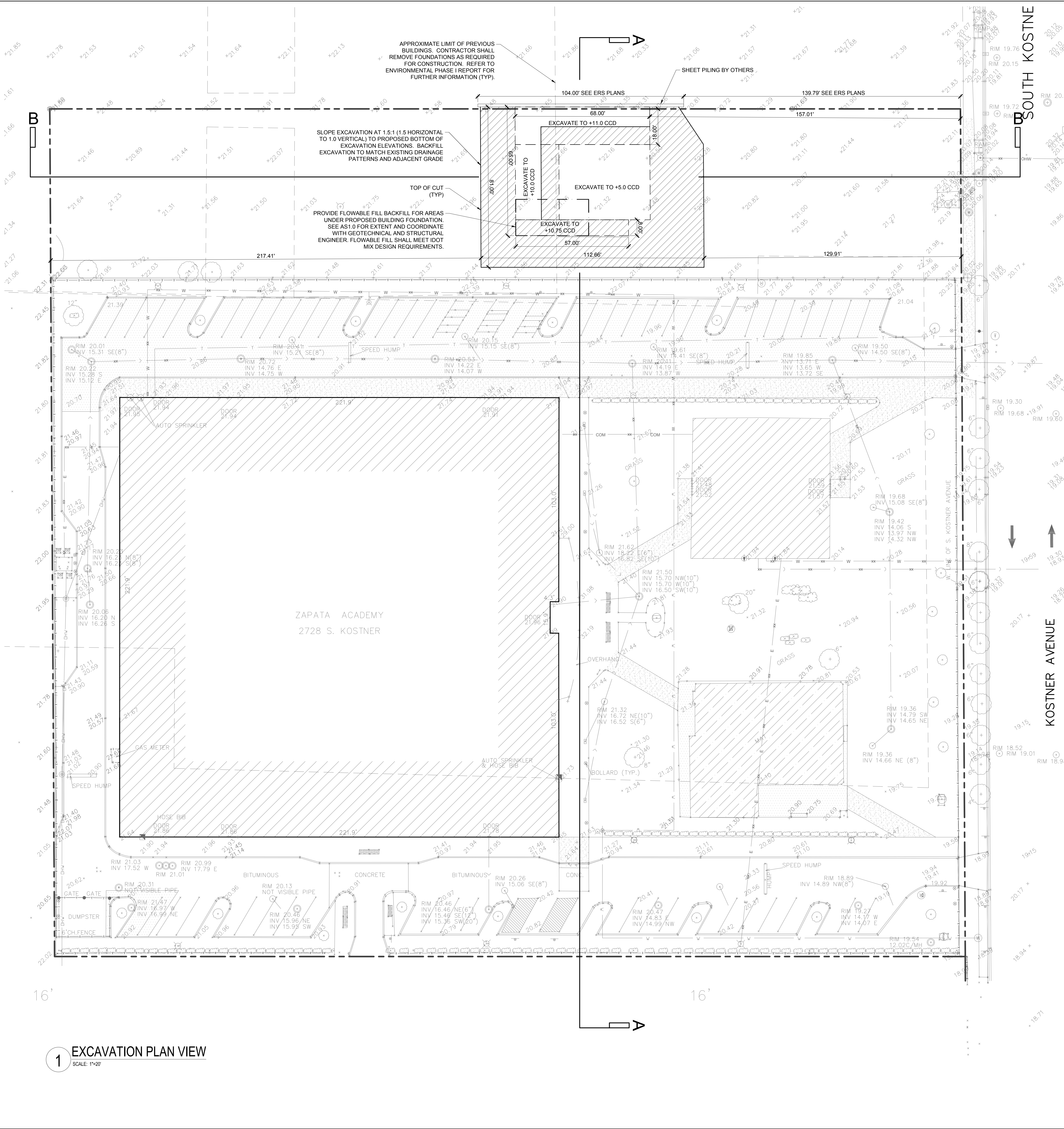
DRAWING NO.

**AS1.0**

ARCHITECTURAL SITE REMEDIATION PLAN  
AS1.0 1" = 20'

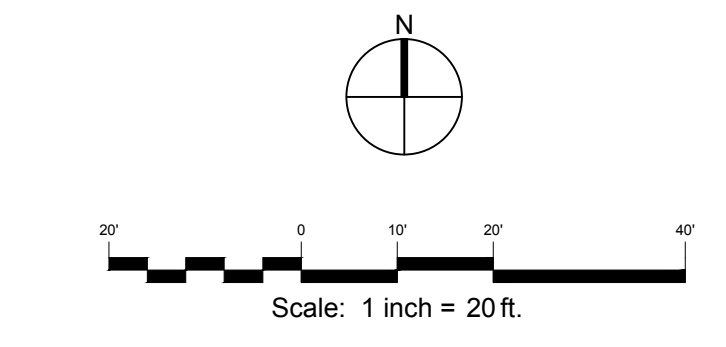






SOUTH KOSTNE

KOSTNER AVENUE



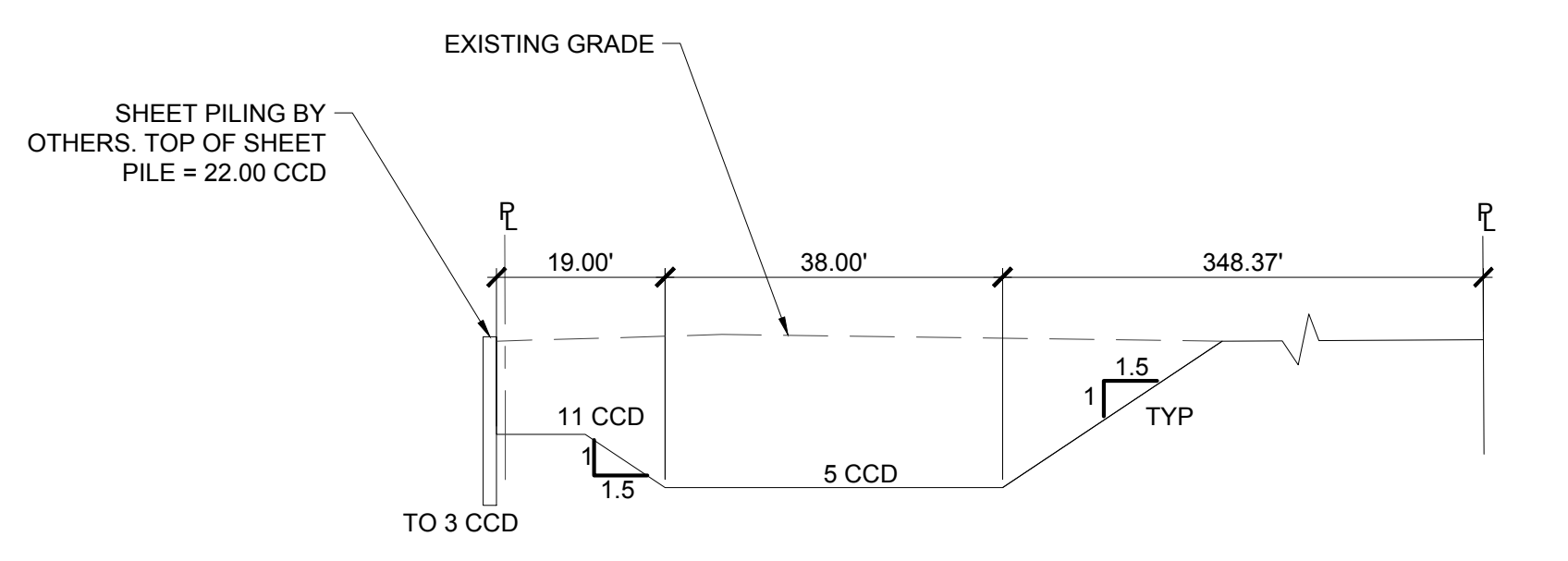
**LEGEND:**

- PROPERTY LINE
- EXISTING BUILDING
- SLOPED EXCAVATION AT 1.5H:1V
- FLOWABLE FILL BACKFILL FOR AREAS UNDER PROPOSED BUILDING

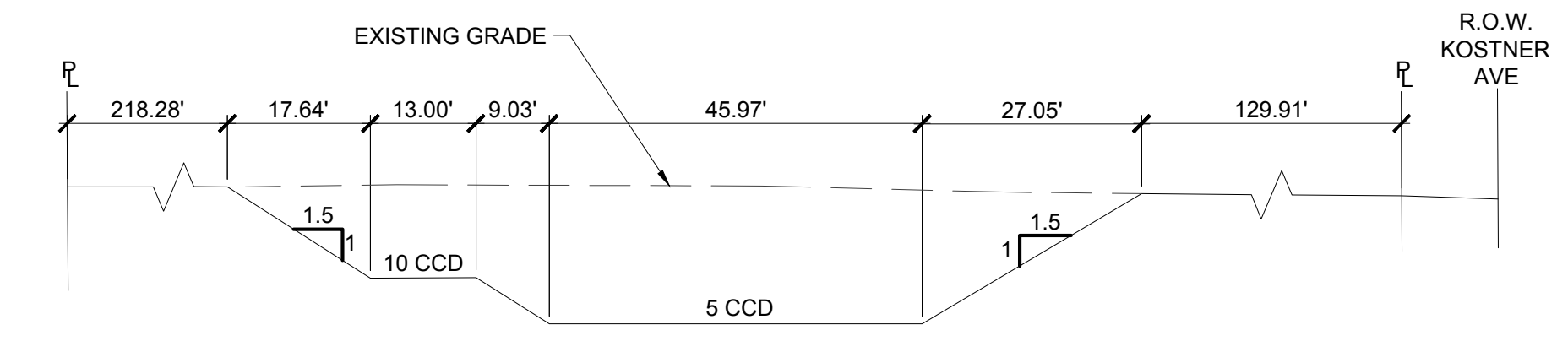
**NOTES:**

1. SEE GEOTECHNICAL REPORT FOR COMPACTION REQUIREMENTS AND SUBGRADE PREPARATION PRIOR TO BACKFILL.
2. ALL BACKFILL SHALL BE PLACED PER THE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION.
3. DEWATER EXCAVATIONS AS REQUIRED AND COORDINATE WITH CDM/MWRD AS REQUIRED.
4. SEE ENVIRONMENTAL REMEDIATION DRAWINGS FOR ADDITIONAL REQUIREMENTS.

**1 EXCAVATION PLAN VIEW**  
SCALE: 1"=20'



**2 CROSS SECTION A-A**  
SCALE: 1"=20'



**3 CROSS SECTION B-B**  
SCALE: 1"=20'



DEPARTMENT OF FACILITIES  
CAPITAL IMPROVEMENT PROGRAM



1128 WEST CHICAGO AVE  
2ND FLOOR  
CHICAGO, ILLINOIS 60642  
P 312.624.2600  
F 312.642.6916

ARCHITECTURE/PLANNING/DESIGN

TERRA ENGINEERING, LTD.  
225 W OHIO ST, 4TH FL  
CHICAGO, IL 60604  
T 312-467-0123

KJWW ENGINEERING CONSULTANTS  
231 S LEXINGTON ST, STE 500  
CHICAGO, IL 60604  
T 312-294-0501

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CHICAGO, IL 60607  
T 312-782-4486

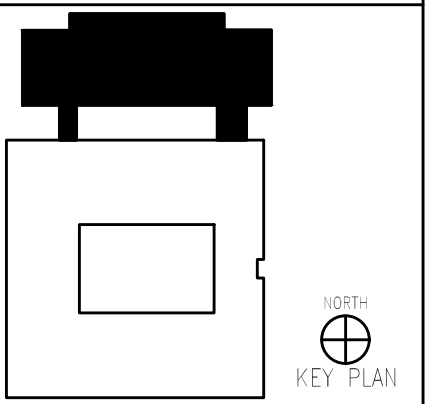


EMILIANO ZAPATA  
ACADEMY ANNEX  
SITE REMEDIATION  
2728 S KOSTNER AVE  
CHICAGO, IL 60623

PROJECT NO. 2017-23611-ANX

REVISIONS		
NO.	DATE	DESCRIPTION
1	04/07/2017	ISSUE FOR CONSTRUCTION DOCUMENTS
2	04/24/2017	ISSUE FOR PERMITS
3	04/25/2017	OWNER REVIEW
4	04/27/2017	ISSUE FOR BID
5	05/01/2017	ISSUE FOR PERMITS
6	07/07/2017	ISSUE FOR PERMITS
7	07/28/2017	ISSUE FOR BID
8	09/07/2017	CONDITION #

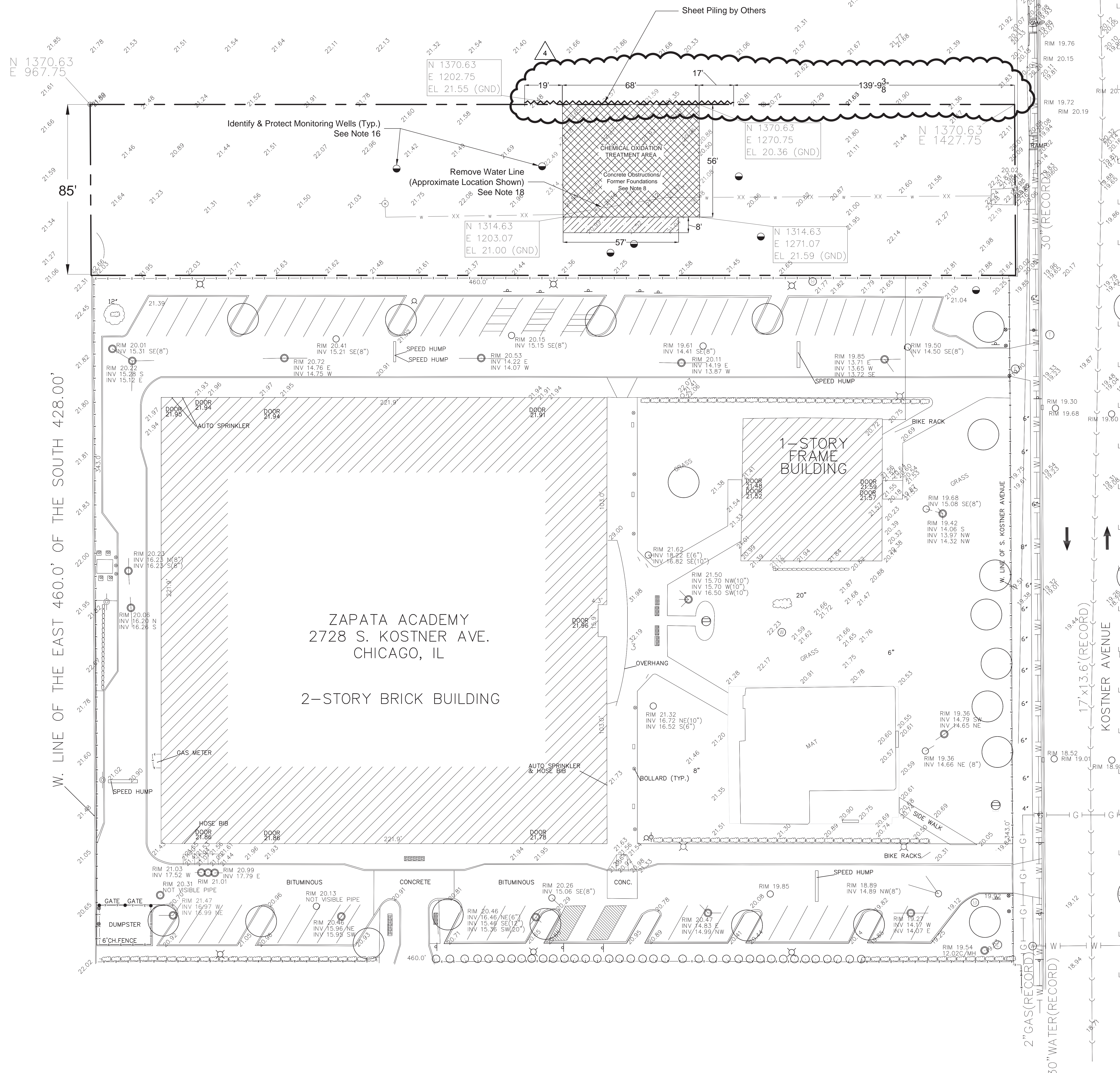
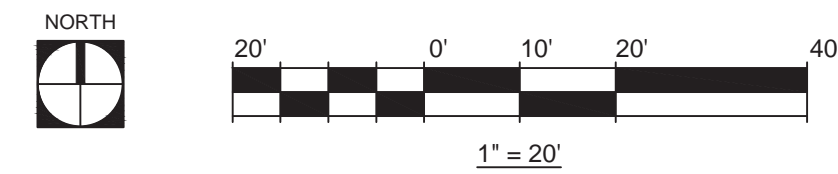
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CHECKED BY: Checker  
SCALE: VARIES  
FILE NAME:



WORKING ASSUMPTIONS: CONTAINING BUILDING MATERIALS ARE OR MAY BE PRESENT IN THE SOILS. AN EXPERTS INVESTIGATION SHALL BE CONDUCTED TO DETERMINE THE EXTENT OF CONTAMINATION. THIS DRAWING IS A GENERAL CONTRACT DOCUMENT AND DOES NOT CONSTITUTE AN ENVIRONMENTAL ASSESSMENT. CONTRACTOR SHALL VERIFY THE RESULTS OF INVESTIGATION AND IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND PERMITS.

SHEET TITLE  
EXCAVATION PLAN

DRAWING NO.  
**EX1.0**



**LEGEND**

- CHEMICAL OXIDATION TREATMENT AREA AND DETAILS ARE TAKEN FROM RECORD DRAWINGS AND ARE NOT GUARANTEED TO BE ACCURATE.
- 10' EXCAVATION AREA SEE EX3.0
- SRP SITE LIMITS
- APPROXIMATE LOCATION OF EXISTING MONITORING WELL - TO BE VERIFIED BY CONTRACTOR
- SHEET PILE

- GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND FIELD CONDITIONS. ALL DIMENSIONS AND DETAILS ARE TAKEN FROM RECORD DRAWINGS AND ARE NOT GUARANTEED TO BE ACCURATE.
  - THE EXISTING SCHOOL AREA AND ANNEX ADDITION AREA ARE BOTH ENROLLED IN THE IEPA SRP PROGRAM. CONTRACTOR MUST FULLY COMPLY WITH THE REQUIREMENTS OF THIS DESIGN AND THE SRP DOCUMENTS PROVIDED WITH PROJECT MANUAL.
  - CONTRACTOR SHALL PREPARE A SITE SPECIFIC HEALTH AND SAFETY PLAN IN ACCORDANCE WITH OSHA 29 CFR 1926.85 AND 1910.120 (HAZWOPER). ALL SITE PERSONNEL MUST HAVE CURRENT 40-HR HAZWOPER CERTIFICATION. ALL HAZWOPER CERTIFICATIONS MUST BE MAINTAINED ONSITE. ALL SITE WORKERS MUST ADHERE TO THE PLAN PROCEDURES AND REQUIREMENTS. HAZWOPER CERTIFICATIONS ALSO APPLY. REFER TO SECTION 319000 AND DRAWING RD2.0 FOR ADDITIONAL INFORMATION.
  - REMEDIATION LIMITS SHOWN ON CONTRACT DRAWINGS ARE BASED UPON THE INTERPRETATION OF SITE INVESTIGATIONS. VARIATIONS OF THESE LIMITS MAY BE ENCOUNTERED DUE TO THE NATURE OF THE SOIL/FILL MATERIALS ENCOUNTERED AT THE SITE.
  - SOIL EXCAVATION SHALL BE KEPT TO THE EXTENT REQUIRED TO MEET MINIMUM ENVIRONMENTAL REQUIREMENTS AND THE PROPOSED CONSTRUCTION WORK AS SPECIFIED IN THIS DRAWING AND CONTRACT DOCUMENTS. ALL EXCAVATED MATERIALS MUST BE DISPOSED OFFSITE IN ACCORDANCE WITH SECTION 312318.13 OR 312318.15, AS APPLICABLE. SEE SECTION 319000 AND DRAWING EX3.0 FOR ADDITIONAL INFORMATION ABOUT THE CHEMICAL OXIDATION TREATMENT AREA. NO EXCAVATED MATERIALS CAN BE REUSED ONSITE AS BACKFILL, TOP SOIL, OR CU STRUCTURAL SOIL.
  - STOCKPILING OF SOIL ON THE SITE SHALL BE PERFORMED IN STRICT ADHERENCE TO SPECIFICATION 312318.13 OR 312318.15, AS APPLICABLE. CONTRACTOR IS ENCOURAGED TO DIRECT LOAD ALL EXCAVATED SOIL/FILL.
  - CROSS CONTAMINATED SOIL/FILL GENERATED BASED UPON CONTRACTOR'S NEGLIGENCE SHALL BE DISPOSED OF OFFSITE IN ACCORDANCE WITH 31 23 18.15 AND REPLACED WITH CLEAN FILL AT CONTRACTOR'S EXPENSE.
  - HISTORICAL RECORDS INDICATE THAT THE PROPERTY WAS PREVIOUSLY OCCUPIED BY SEVERAL BUILDINGS. THESE BUILDINGS HAVE BEEN DEMOLISHED, BUT REMAINING FOUNDATION SECTIONS EXIST ONSITE. REFER TO HISTORIC SANBORN FIRE INSURANCE MAPS WITHIN PHASE I ENVIRONMENTAL SITE ASSESSMENT PROVIDED AS REFERENCE ENVIRONMENTAL DOCUMENT FOR LOCATIONS OF FORMER BUILDING FOUNDATIONS. SOIL/FILL MATERIALS ACROSS THE SITE CONTAIN VARIOUS AMOUNTS OF CONCRETE, BRICK AND GRAVEL. SOME AREAS MAY CONTAIN AN ESTIMATED 20-30% DEBRIS. NO ADDITIONAL COSTS SHALL BE PERMITTED FOR THESE MIXED SOIL/FILL MATERIALS REQUIRING DISPOSAL PER SECTION 312318.13.
  - CONTRACTOR SHALL NOT UTILIZE ANY SOIL/FILL MATERIALS EXCAVATED FOR CONSTRUCTION AT ANY OTHER OFF-SITE PROPERTY. ALL SOIL/FILL THAT REQUIRE REMOVAL OFF-SITE AS PART OF CONSTRUCTION SHALL BE DISPOSED OF IN ACCORDANCE WITH SPECIFICATION 312318.13. TREATED SOILS IN THE CHEMICAL OXIDATION TREATMENT AREA ARE TO BE REMOVED AND DISPOSED PER SECTION 312318.15.
  - CONCRETE RUBBLE COMMINGLED, MIXED OR CROSS CONTAMINATED WITH OTHER SOIL/FILL MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH SPECIFICATION 312318.13 OR 312318.15, AS APPLICABLE.
  - ALL FIELD EQUIPMENT SHALL BE DECONTAMINATED AFTER USE IN SOIL/FILL AREAS DESIGNATED FOR DISPOSAL PER SECTION 312318.13 OR 312318.15 AND PRIOR TO USE IN HANDLING IMPORTED CLEAN FILL.
  - SHOULD A SUSPECT UST BE ENCOUNTERED, CONTRACTOR SHALL STOP WORK WITHIN 30 FEET OF THE SUSPECT UST AND NOTIFY THE MANAGING ENVIRONMENTAL CONSULTANT IMMEDIATELY. CONTRACTOR SHALL PROVIDE EQUIPMENT AND MANPOWER TO ASSIST IN DETERMINING THE SIZE OF THE UST AS DIRECTED BY THE MANAGING ENVIRONMENTAL CONSULTANT.
  - ALL SOIL/FILL MATERIALS DESIGNATED FOR DISPOSAL PER SPECIFICATION 312318.15 SHALL BE CLASSIFIED AS SPECIAL WASTE OR NON-SPECIAL WASTE. CONTRACTOR'S PROPOSED DISPOSAL FACILITY SHALL BE PERMITTED TO ACCEPT BOTH CLASSIFICATIONS OF WASTE.
  - ALL IMPORTED BACKFILL USED FOR THE PROJECT SHALL BE IN ACCORDANCE WITH SPECIFICATION 312323 AND NOT EXCEED APPENDIX B, SECTION 742, TABLE A; TACO: 35 ILL. ADM. CODE 742 VALUES FOR 35 ILL. ADM CODE 740 APPENDIX A TCL PARAMETERS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING STORM WATER MANAGEMENT PLANS IN ACCORDANCE WITH SECTIONS 312318.13 AND 312318.15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PUMPING PERMIT FROM THE CITY OF CHICAGO DEPARTMENT OF BUILDINGS AND DISCHARGE AUTHORIZATION/ APPROVAL FROM MWRDGC PRIOR TO DISCHARGE OF WATER INTO THE CITY SEWER SYSTEM.
  - ENVIRONMENTAL MONITORING WELLS REMAIN ONSITE. CONTRACTOR SHALL IDENTIFY AND PROVIDE WRITTEN DOCUMENTATION OF THE LOCATION OF ALL REMAINING WELLS WITHIN THE DESIGNATED WORK AREA. ALL EXISTING WELLS ARE TO BE PROTECTED DURING WORK.
  - CONTRACTOR SHALL PERFORM CHEMICAL OXIDATION TREATMENT IN THE DESIGNATED AREA. REFER TO DRAWING EX3.0 AND SECTION 319000. ADDITIONAL EXCAVATION SHALL BE PERFORMED TO THE SOUTH OF THE CHEMICAL OXIDATION TREATMENT AREA AS DEPICTED. REFER TO DRAWING EX3.0.
  - AN ABANDONED WATER LINE IS PRESUMED TO EXIST IN THE SOUTHERN PORTION OF THE TREATMENT ZONE, PER THE FINDINGS OF THE GPR SURVEY (PROVIDED AS REFERENCE). PRIOR TO WORK, CONTRACTOR SHALL CONFIRM WITH SITE OWNER THAT THE WATER LINE HAS BEEN DISCONNECTED. WATER LINE IS TO BE REMOVED AS NECESSARY TO PERFORM WORK.



DEPARTMENT OF FACILITIES  
CAPITAL IMPROVEMENT PROGRAM



1128 WEST CHICAGO AVE  
2ND FLOOR  
CHICAGO, ILLINOIS 60642  
P. 312.424.2500  
F. 312.462.2910

ARCHITECTURE/PLANNING/DESIGN

TERRA ENGINEERING, LTD.  
225 W. PULASKI ST., 4TH FL.  
CHICAGO, IL 60604  
P. 312-467-9123

KJWW ENGINEERING CONSULTANTS  
431 S. LA SALLE ST., STE 600  
CHICAGO, IL 60604  
P. 312-294-0501

CARNOW, CONIBEAR & ASSOC., LTD.  
800 W. VAN BUREN ST., STE 500  
CHICAGO, IL 60607  
P. 312-782-4488

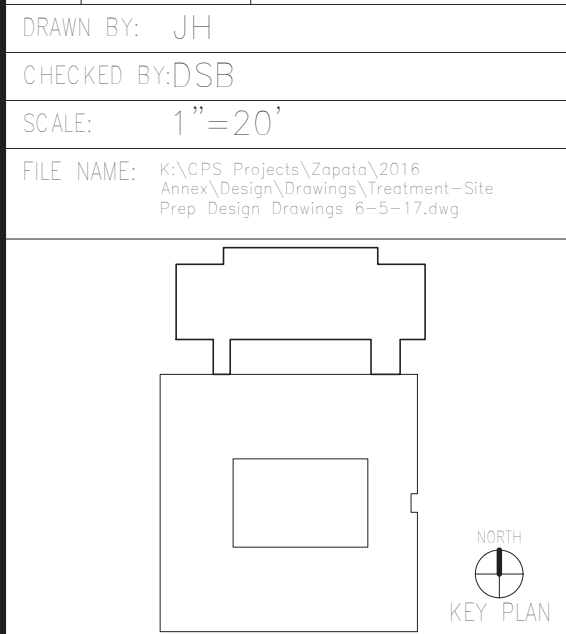
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EMILIANO ZAPATA  
ACADEMY ANNEX  
SITE REMEDIATION  
2728 S. KOSTNER AVE  
CHICAGO, IL 60623

PRC PROJECT NO. 5055  
GPS PROJECT NO. 2017-23611-ANX

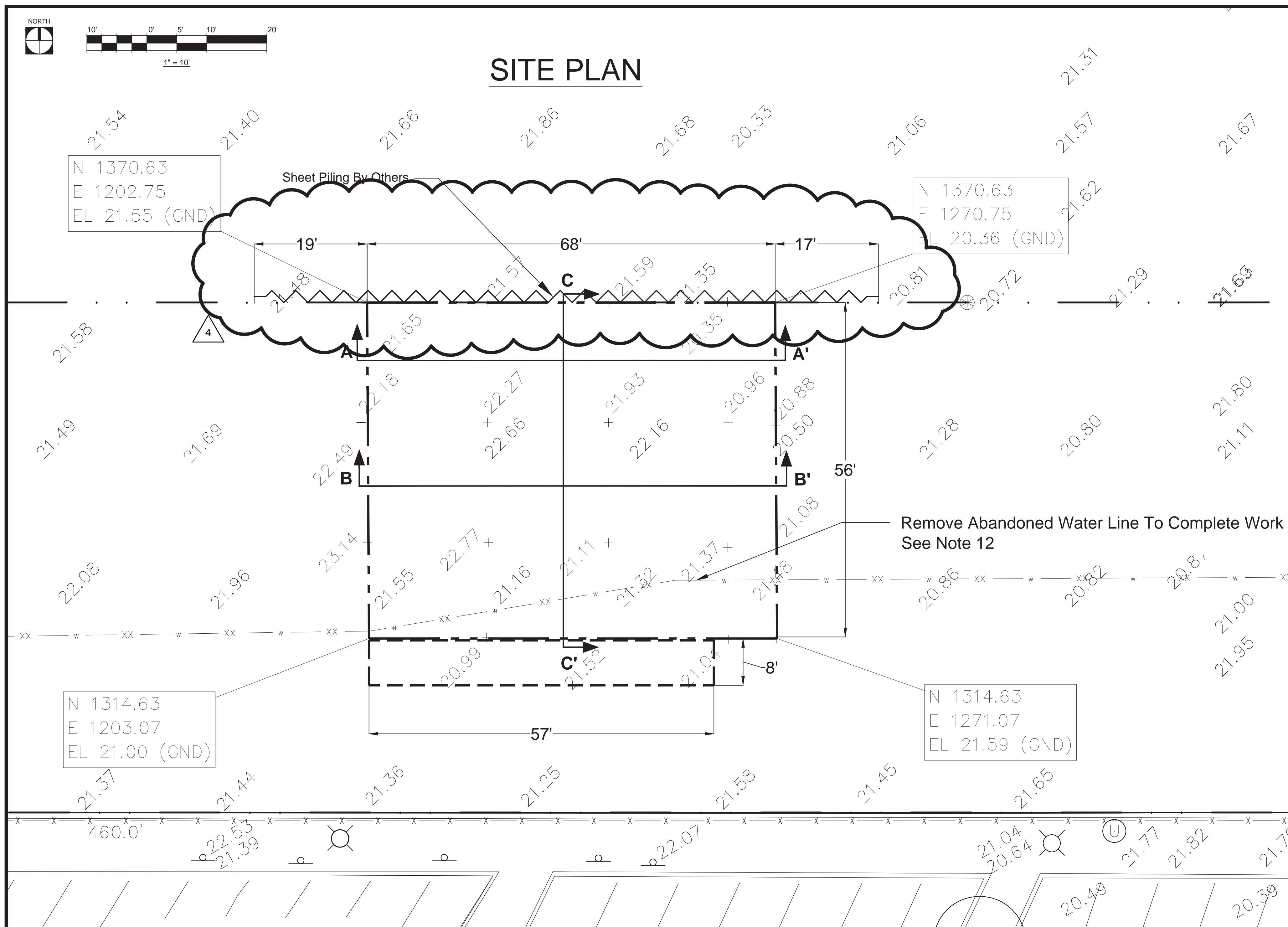
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6	07/27/2017	ISSUE FOR BID
7	07/28/2017	ISSUE FOR BID
8	09/07/2017	ISSUE FOR BID

DRAWN BY: JH  
CHECKED BY: DSB  
SCALE: 1"=20'  
FILE NAME: 312318.15-PRC-2017-23611-ANX  
Rev: 08/01/2017 (Drawing) A-3-17.dwg



TREATMENT AREA SITE PLAN

**EX2.0**

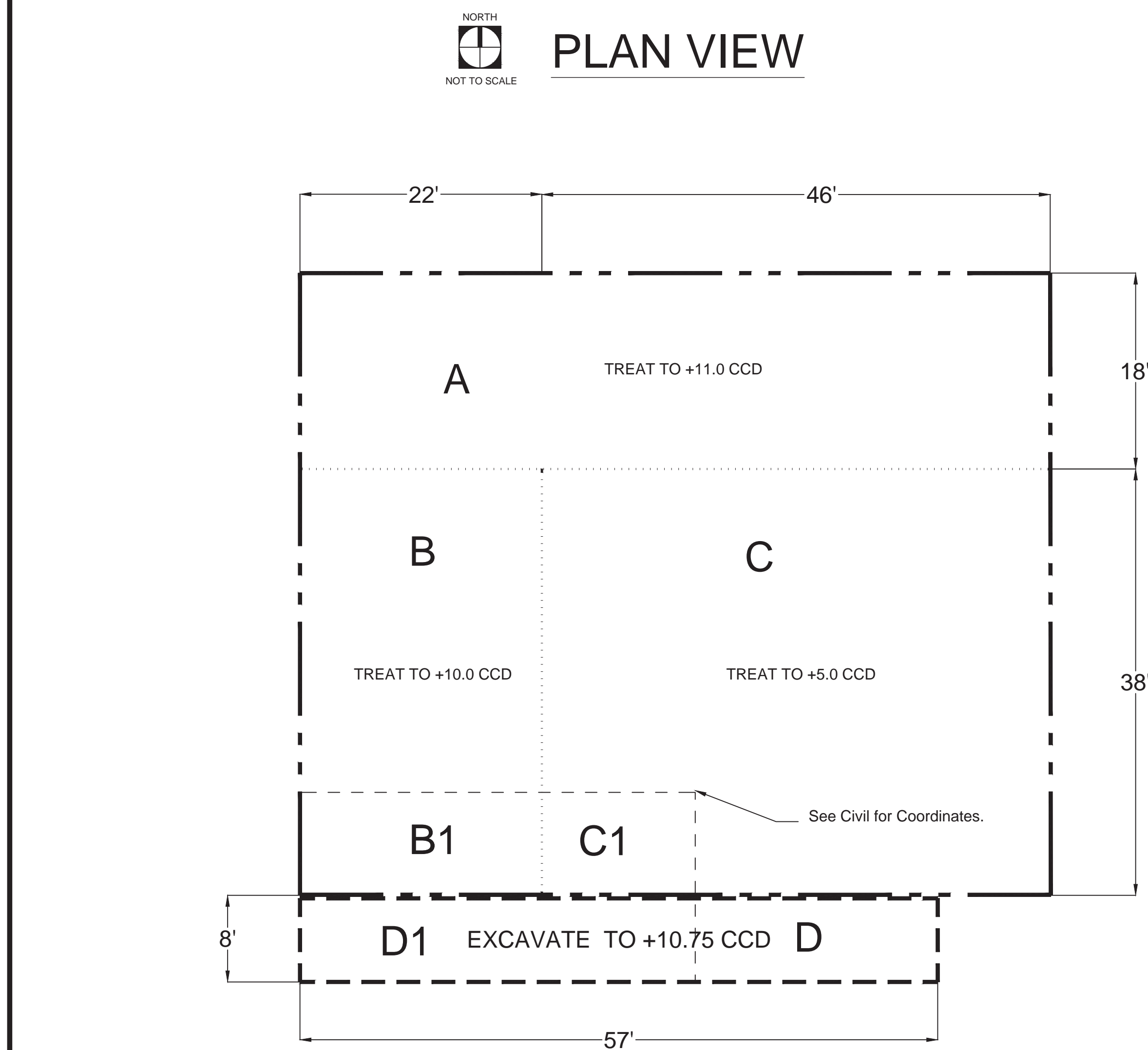


### NOTES

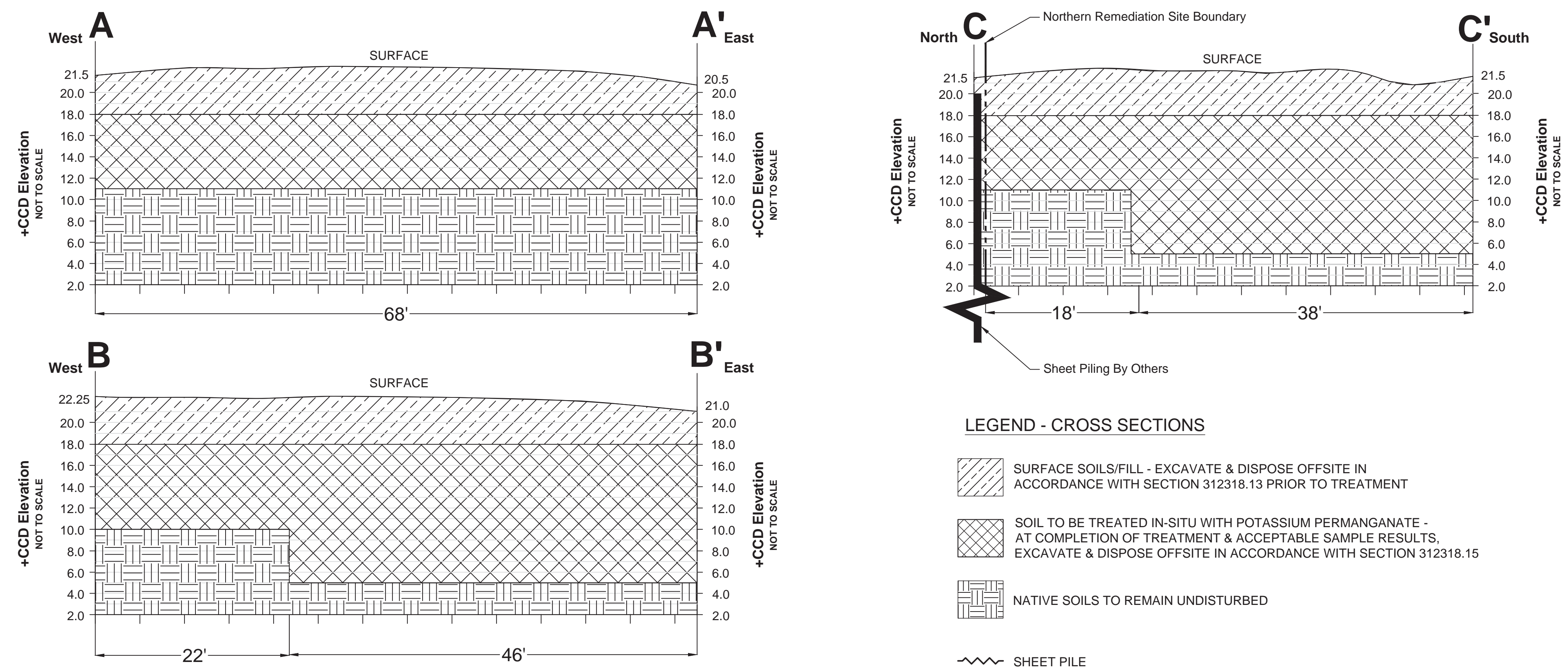
- REFER TO DRAWING EX2.0 FOR LOCATION AND ORIENTATION OF CHEMICAL OXIDATION TREATMENT AREA.
- CONTRACTOR SHALL FIELD VERIFY SURFACE ELEVATIONS AND FIELD CONDITIONS PRIOR TO TREATMENT ACTIVITIES. SURFACE ELEVATIONS DEPICTED HERE ARE ESTIMATED FROM RECORD DRAWINGS AND ARE NOT GUARANTEED TO BE ACCURATE.
- CONTRACTOR SHALL INFORM MANAGING ENVIRONMENTAL CONSULTANT A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION OR TREATMENT ACTIVITIES TO BE PERFORMED IN THE DESIGNATED TREATMENT AREA.
- PRIOR TO TREATMENT, CONTRACTOR SHALL EXCAVATE SURFACE SOILS/FILL THROUGHOUT THE DEPICTED TREATMENT AREA TO ELEVATION OF +18.0 CCD. THE EXCAVATED SURFACE SOILS/FILL SHALL BE DISPOSED OFFSITE IN ACCORDANCE WITH SECTION 322318.13.
- CONTRACTOR SHALL TREAT EXISTING SOILS TO ELEVATIONS DEPICTED ON THIS DRAWING WITH POTASSIUM PERMANGANATE IN ACCORDANCE WITH SPECIFICATION 319000. THE 8' X 57' SECTION SOUTH OF THE TREATMENT AREA SHALL BE EXCAVATED AND DISPOSED OFFSITE IN ACCORDANCE WITH 322318.13 OR 322318.15, AS APPLICABLE, AND IS NOT TO BE TREATED WITH POTASSIUM PERMANGANATE.
- THE TREATMENT SHALL BE PERFORMED BY MIXING THE SOILS WITH POTASSIUM PERMANGANATE AND WATER IN PLACE. CONTRACTOR SHALL SECURE WATER SOURCE TO FACILITATE IN-SITU MIXING INCLUDING ALL REQUIRED PERMITS. CONTRACTOR TO PROVIDE WATER AT RATE/QUANTITY IN ACCORDANCE WITH POTASSIUM PERMANGANATE VENDOR SPECIFICATIONS.
- CONTRACTOR PERFORMING CHEMICAL OXIDATION TREATMENT SHALL BE APPROVED TO OBTAIN AND HANDLE POTASSIUM PERMANGANATE BY ALL APPLICABLE AUTHORITIES, INCLUDING ALL NECESSARY PERMITS & CLEARANCE REQUIREMENTS FROM THE U.S. DEPARTMENT OF HOMELAND SECURITY.
- REFER TO ENVIRONMENTAL REFERENCE REPORTS PROVIDED WITH PROJECT MANUAL FOR THE CONCENTRATIONS OF CONTAMINANTS ONSITE BASED ON INVESTIGATION FINDINGS. EXISTING CONCENTRATIONS OF TRICHLOROETHENE (TCE) AND PERCHLOROETHENE (PCE) EXCEED HAZARDOUS WASTE TOXICITY CHARACTERISTIC CRITERIA. CONTRACTOR TO PROVIDE ALL REQUIRED POTASSIUM PERMANGANATE TREATMENT COMPOUND TO REDUCE CONCENTRATIONS OF TCE AND PCE TO THE CONCENTRATIONS LISTED IN SECTION 319000.
- PRIOR TO TREATMENT, CONTRACTOR SHALL PREPARE AND IMPLEMENT SITE-SPECIFIC HEALTH AND SAFETY PLAN IN ACCORDANCE WITH OSHA 29 CFR 1926.65 AND 1910.120 (HAZWOPER). ALL SITE PERSONNEL WORKING DURING THE CHEMICAL OXIDATION TREATMENT MUST HAVE CURRENT 40-HR HAZWOPER CERTIFICATION. ALL HAZWOPER CERTIFICATIONS MUST BE MAINTAINED ONSITE.
- CONTRACTOR SHALL FACILITATE COLLECTION OF CONFIRMATION SAMPLES AFTER MIXING IS PERFORMED. MANAGING ENVIRONMENTAL CONSULTANT (MEC) WILL COLLECT SAMPLES WITH ASSISTANCE FROM CONTRACTOR A MINIMUM OF 48 HOURS AFTER MIXING OR AFTER THE SOIL/SURRY MIXTURE NO LONGER EXHIBITS PURPLE COLOR, AT DISCRETION OF THE MEC. THE MEC WILL COMMUNICATE CONFIRMATION SAMPLE RESULTS TO CONTRACTOR WHEN RECEIVED.
- ONCE SAMPLE CONCENTRATIONS DEMONSTRATE THAT THE TCE AND PCE CONCENTRATIONS LISTED IN SECTION 319000 HAVE BEEN ACHIEVED, CONTRACTOR SHALL MIX THE TREATED SOIL/SURRY MIXTURE WITH INERT MATERIAL UNTIL ABLE TO EXCAVATE AND TRANSPORT FOR DISPOSAL. THE TREATED MATERIAL MIXTURE SHALL BE EXCAVATED TO DEPTH OF THE TREATMENT AREA, AS APPLICABLE, AND DISPOSED OFFSITE IN ACCORDANCE WITH SECTION 322318.15. CONTRACTOR SHALL NOT EXCAVATE DEEPER THAN THE DEPICTED TREATMENT ELEVATIONS SHOWN.
- BASED ON GPR SURVEY FINDINGS, AN ABANDONED WATER LINE IS PRESUMED TO EXIST IN THE APPROXIMATE AREA SHOWN ALONG SOUTH END OF TREATMENT AREA. THE WATER LINE IS TO BE DISCONNECTED PRIOR TO WORK. CONTRACTOR SHALL VERIFY WITH SITE OWNER THAT WATER LINE HAS BEEN DISCONNECTED PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL REMOVE WATER LINE AS NECESSARY TO COMPLETE WORK.
- CONTRACTOR SHALL BACKFILL REMAINING EXCAVATION TO ELEVATIONS SPECIFIED IN SECTION 312214 EARTHWORK. ALL MATERIAL USED TO BACKFILL THE EXCAVATION SHALL BE IN ACCORDANCE WITH SECTION 312323.
- CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR DEPTHS AND DIMENSIONS OF FINAL EXCAVATIONS. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY OF FINAL ELEVATIONS AFTER BACKFILL.

### LEGEND - SITE PLAN

- CHEMICAL OXIDATION TREATMENT AREA
- POST-TREATMENT 10' EXCAVATION AREA
- SRP SITE LIMITS
- SHEET PILE



### CROSS SECTIONS



DEPARTMENT OF FACILITIES  
CAPITAL IMPROVEMENT PROGRAM



1108 WEST CHICAGO AVE. 2ND FLOOR  
CHICAGO, ILLINOIS 60604  
P. 312.424.2670  
F. 312.462.0919

ARCHITECTURE/PLANNING/DESIGN

TERRA ENGINEERING, LTD.  
225 W. PINE ST. 4TH FL.  
CHICAGO, IL 60604  
P. 312.467.8123

KJWW ENGINEERING CONSULTANTS  
331 S. LA SALLE ST. STE 600  
CHICAGO, IL 60604  
P. 312.294.0501

CARNOW, CONIBEAR & ASSOC., LTD.  
800 W. VAN BUREN ST. STE 500  
CHICAGO, IL 60607  
P. 312.782.4488

PROFESSIONAL OF RECORD STAMP

EMILIANO ZAPATA  
ACADEMY ANNEX  
SITE REMEDIATION  
3728 S. KOSTNER AVE  
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PRC PROJECT NO. 5055  
EPS PROJECT NO. 2017-23611-ANX

### REVISIONS

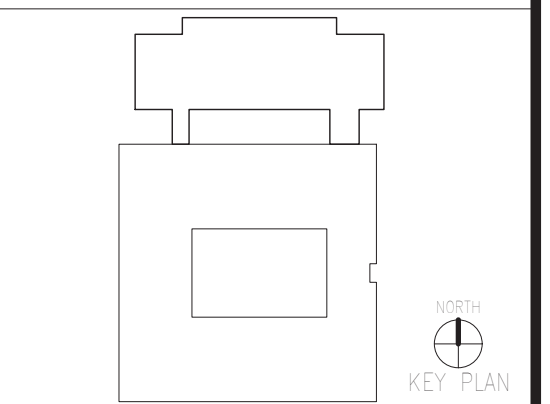
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DRAWN BY: JH

CHECKED BY: DSB

SCALE: 1" = 20'

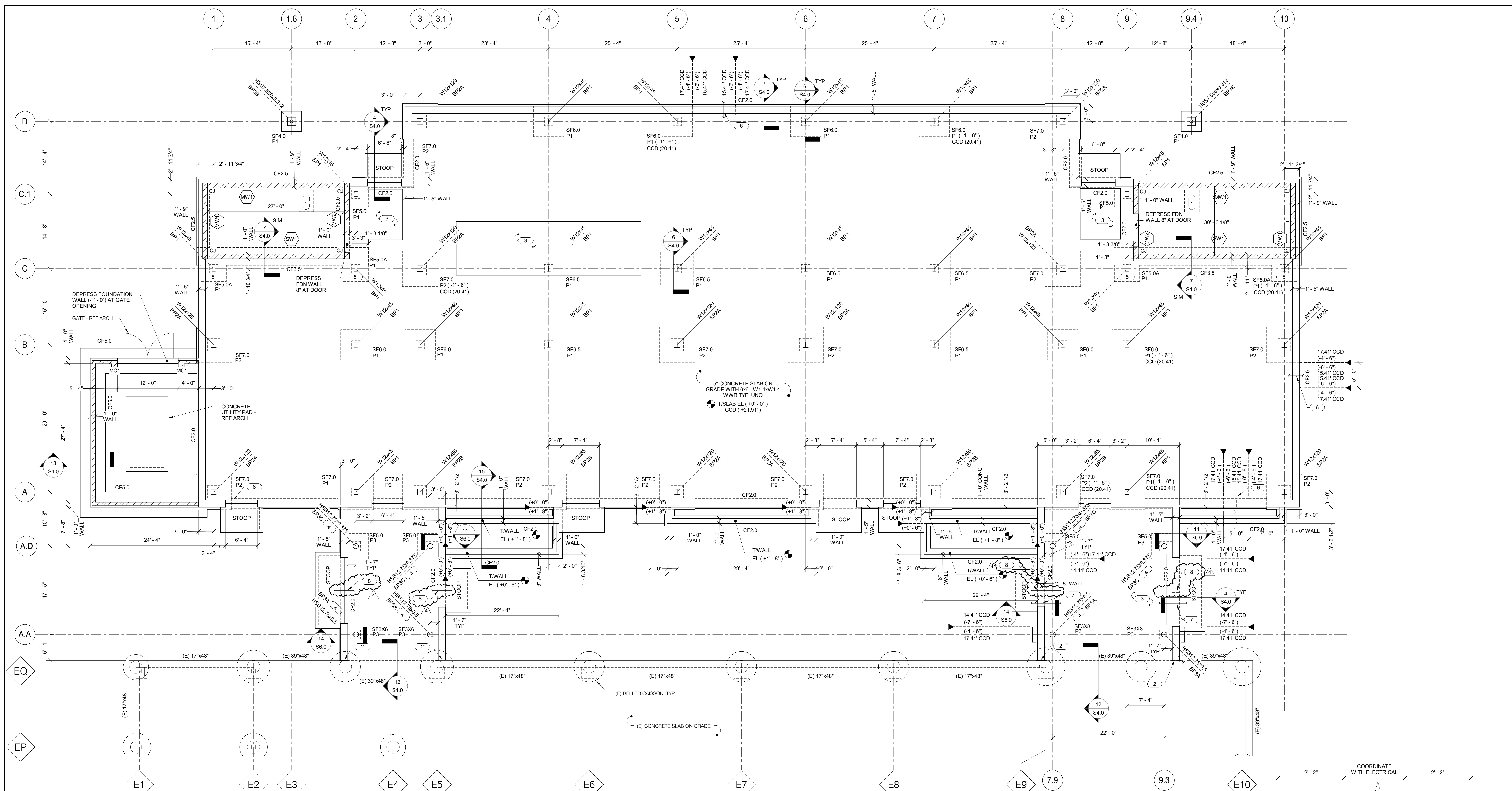
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NOTHING HEREIN CONSTITUTES A GUARANTEE OF ACCURACY OR COMPLETENESS OF INFORMATION. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

CHEMICAL OXIDATION TREATMENT

EX3.0

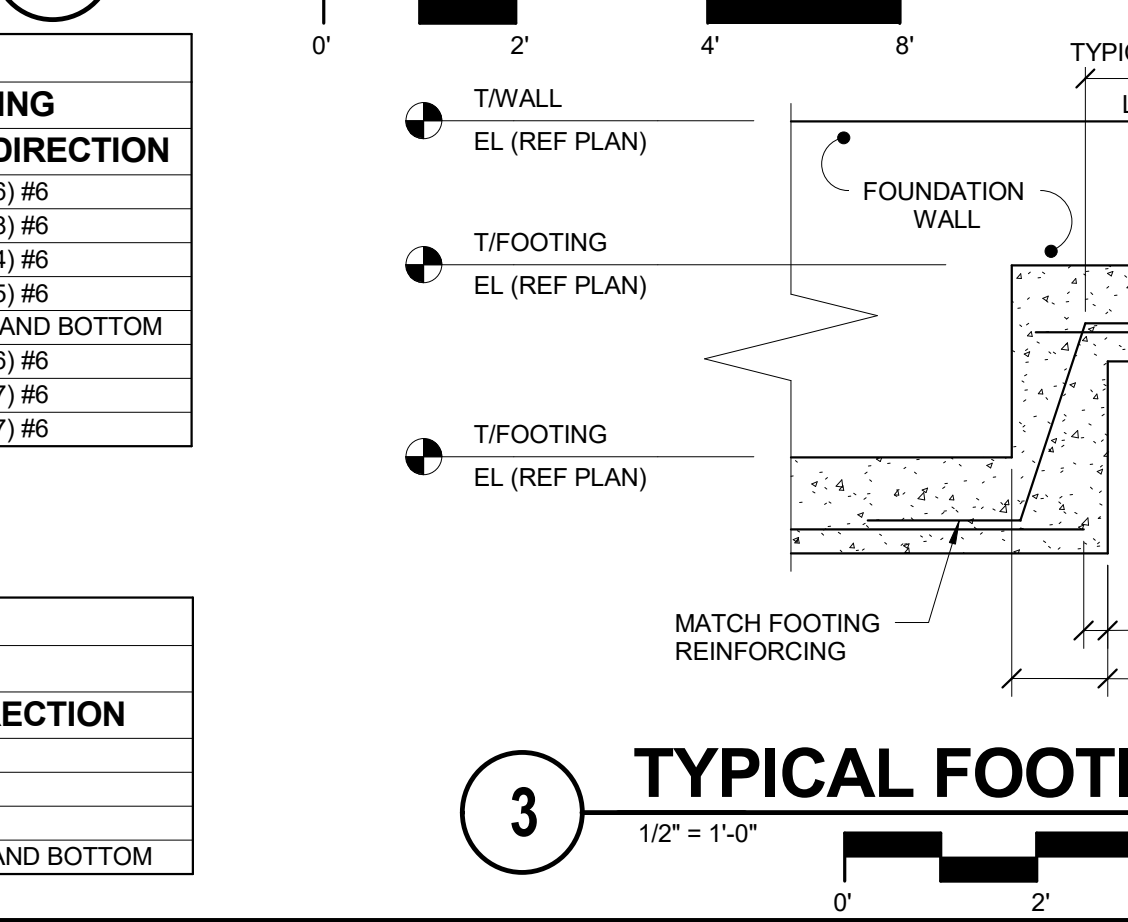
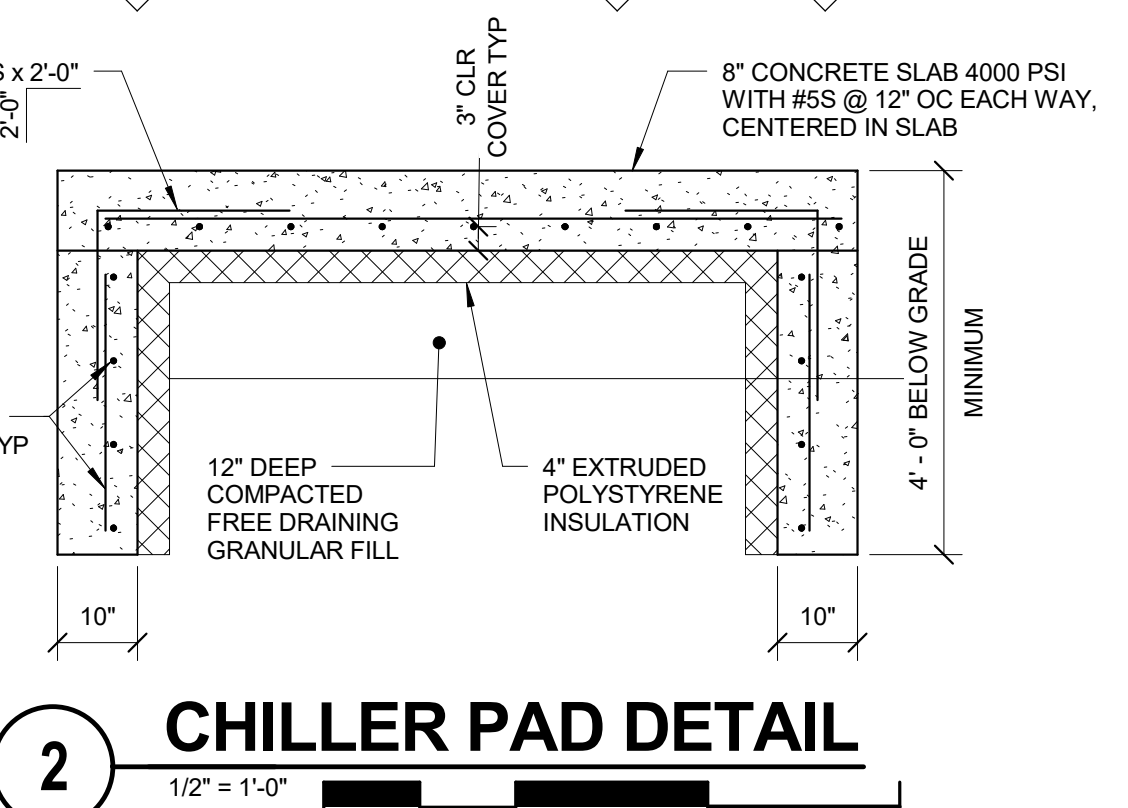


MARK	WALL THICKNESS	VERTICAL WALL REINFORCING SIZE AND SPACING	NOTES
(MW1)	12"	(2) #6 @ 32" OC LOCATE BARS AT EACH FACE IN CORE	11/S6.0
(MW2)	12"	#6 @ 48" OC	
(SW1)	12"	#6 @ 48" OC	

- NOTES:
- ALL CORES WITH REINFORCING TO BE FULLY GROUTED.
  - SW# INDICATES SHEAR WALL. SHEAR WALLS TO REMAIN UNINTERRUPTED BY CONTROL JOINTS. REFER TO PLAN FOR EXACT CONTROL JOINT LOCATIONS.
  - REFER TO 1/S6.0 FOR TYPICAL OPENING REINFORCING AND 10/S6.0 FOR TYPICAL CORNER BARS.

MARK	LENGTH	WIDTH	THICKNESS	REINFORCING	
				LONG DIRECTION	SHORT DIRECTION
SF3X6	6'-0"	3'-0"	1'-0"	(3) #6	(6) #6
SF3X8	8'-0"	3'-0"	1'-6"	(3) #6	(6) #6
SF4.0	4'-0"	4'-0"	1'-0"	(4) #6	(4) #6
SF5.0	5'-0"	5'-0"	1'-0"	(5) #6	(5) #6
SF5.0A	5'-0"	5'-0"	1'-6"	(5) #6 TOP AND BOTTOM	(5) #6 TOP AND BOTTOM
SF6.0	6'-0"	6'-0"	1'-6"	(6) #6	(6) #6
SF6.5	6'-6"	6'-6"	1'-6"	(7) #6	(7) #6
SF7.0	7'-0"	7'-0"	1'-6"	(7) #6	(7) #6

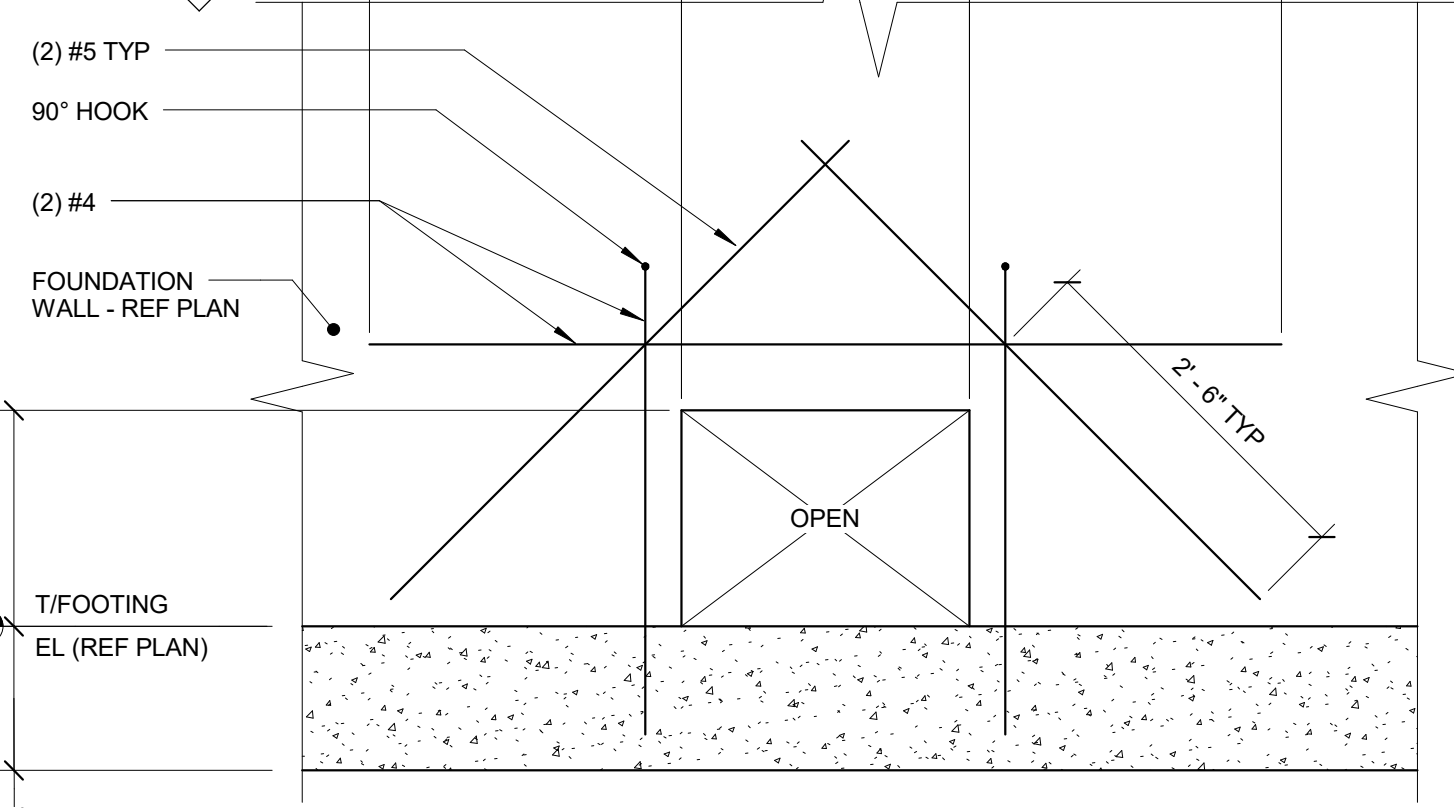
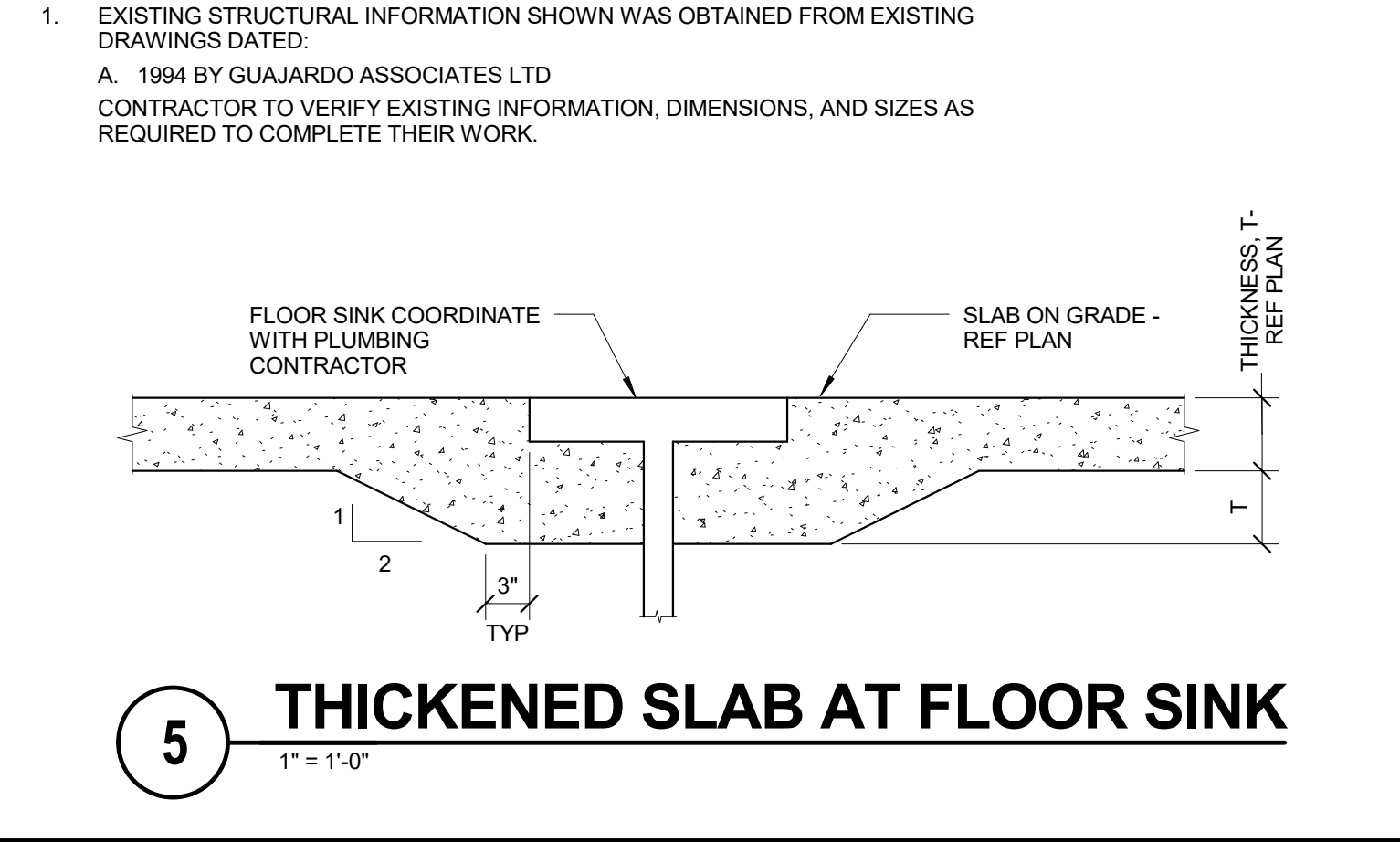
MARK	WIDTH	THICKNESS	REINFORCING	
			LONG DIRECTION	SHORT DIRECTION
CF2.0	2'-0"	1'-0"	(2) #5	-
CF2.5	2'-6"	1'-0"	(3) #5	-
CF3.5	3'-6"	1'-6"	(3) #5	-
CF5.0	5'-0"	1'-9"	(6) #6 TOP AND BOTTOM	#6 @ 9" OC TOP AND BOTTOM



- NOTES:
- TOP OF FOOTING ELEVATION (-4'-6") WHICH EQUALS 17.41' CCD, UNO. REF NOTES 7 AND 8 BELOW.
  - TOP OF FOUNDATION WALL ELEVATION (+0'-0") WHICH EQUALS 21.91' CCD, UNO.
  - TOP OF PIER ELEVATION (-1'-0") WHICH EQUALS 20.91' CCD, UNO.
  - B## INDICATES BASE PLATE. REFER TO S5.0 FOR ANCHOR RODS AND BASE PLATE DETAILS.
  - P## INDICATES CONCRETE PIER. REFER TO S4.0 FOR DETAILS.
  - S## AND CF## INDICATES FOUNDATION PER SPREAD AND CONTINUOUS FOOTINGS. REFER TO THIS SHEET FOR SCHEDULES.
  - EXISTING FILL ENCOUNTERED BETWEEN 1'-6" TO 5'-6" BELOW GRADE THROUGHOUT SITE. EXISTING FILL TO BE REMOVED AND FOOTINGS TO BE PLACED ON SILTY CLAY LAYER PER GEOTECH REPORT. BELOW SLAB ON GRADE, TOP LAYER OF EXISTING SOIL IS TO BE REMOVED TO BOTTOM OF ENGINEERED FILL ELEVATION. BUILDING PAD IS TO BE PROOFROLLED AND TESTED AND UNSUITABLE SOILS TO BE REMOVED AND REPLACED WITH CA-6 MATERIAL PER GEOTECH REPORT. REFER TO GEOTECH REPORT FOR MORE INFORMATION.
  - REFER TO S0.1 FOR SYMBOLS AND ABBREVIATIONS.
  - REF PLAN AND CMU WALL SCHEDULE FOR MASONRY WALL REINFORCING.
  - REFER TO 1, 2 AND 3/S4.0 FOR TYPICAL SLAB ON GRADE CONSTRUCTION DETAILS.
  - (W#) INDICATES MASONRY WALL - REFER TO THIS SHEET FOR SCHEDULE.
  - CJ INDICATES MASONRY CONTROL JOINT. REF PLAN FOR LOCATIONS.
  - PROVIDE 2" x 2" x 8" CORNER BARS FOR FOOTING AND WALL INTERSECTIONS. BAR SIZE AND QUANTITY TO MATCH LONGITUDINAL AND HORIZONTAL BARS.
  - MC# INDICATES MASONRY COLUMN. REFER TO S4.0 FOR DETAIL.
  - REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR STOOPEX AND EXTERIOR SLAB ELEVATIONS AND DIMENSIONS. VERIFY EXTEND OF DEPRESSED FOUNDATION WALL AT DOORS WITH ARCH.
  - COORDINATE LOCATIONS OF FLOOR DRAINS AND FLOOR SINKS IN SLAB ON GRADE. REFER TO S5.1.0 FOR FLOOR SINK DETAIL.
- KEYNOTES:
- 8" THICKENED SLAB AT BASE OF STAIR STRINGERS WITH (2) #5 IN LONG DIRECTION.
  - PROVIDE 2" x 0" LONG DOWELS TO MATCH SIZE AND SPACING OF HORIZONTAL REINFORCING AND DOWEL FROM NEW FOUNDATION WALL/FOOTING TO EXISTING GRADE BEAM. DOWELS TO EXTEND 6" WITH ADHESIVE INTO EXISTING GRADE BEAM.

- SLAB DEPRESSION. DEPTH TO BE COORDINATED BY THE CONTRACTOR AND APPROVED SUBMITTALS REFER TO ARCH FOR EXTENT AND 14/S4.0 FOR DETAIL. MINIMUM SLAB DEPRESSION FOR MUD SET QUARRY TILE IS 2".
- HSS COLUMN ENCASED IN 16" STEEL COVER FILLED WITH HIGH STRENGTH CONCRETE TO ACHIEVE 3 HOUR FIRE RATING. ENCLOSURE TO EXTEND A MINIMUM OF 2" ABOVE FINISH CEILING AND 1" BELOW FINISH SLAB.
- BARS FROM SPREAD FOOTING TO EXTEND TO FAR EDGE OF CONTINUOUS FOOTING.
- SLEEVE UTILITIES THROUGH FOUNDATION PER S5/4.0. COORDINATE SIZE AND LOCATION WITH MECHANICAL AND PLUMBING CONTRACTORS.
- SLEEVE UTILITIES THROUGH FOUNDATION PER S6/4.0. COORDINATE SIZE AND LOCATION WITH CIVIL AND ARCHITECT.
- OPENING FOR ELECTRICAL DUCT BANK THROUGH FOUNDATION PER 4/S1.0. COORDINATE SIZE AND LOCATION WITH ELECTRICAL CONTRACTORS.

- EXISTING STRUCTURAL INFORMATION
- EXISTING STRUCTURAL INFORMATION SHOWN WAS OBTAINED FROM EXISTING DRAWINGS DATED:
    - 1994 BY GUJARDO ASSOCIATES LTD
 CONTRACTOR TO VERIFY EXISTING INFORMATION, DIMENSIONS, AND SIZES AS REQUIRED TO COMPLETE THEIR WORK.



- NOTES:
- OPENING IS TO BE PLACED IN FOUNDATION WALL, NOT THROUGH FOOTING.
  - TYPICAL REINFORCING NOT SHOWN FOR CLARITY.
  - PROVIDE WATERSTOP AROUND OPENING.

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 2810 SOUTH LAMAR, SUITE 600  
 CHICAGO, IL 60604  
 WWW.IMEG.COM  
 PHONE: 312.294.2600  
 FAX: 312.294.0500  
 PRODUCT #: 091225.50  
 REFERENCE SCALE IN INCHES  
 1" = 1'-0"



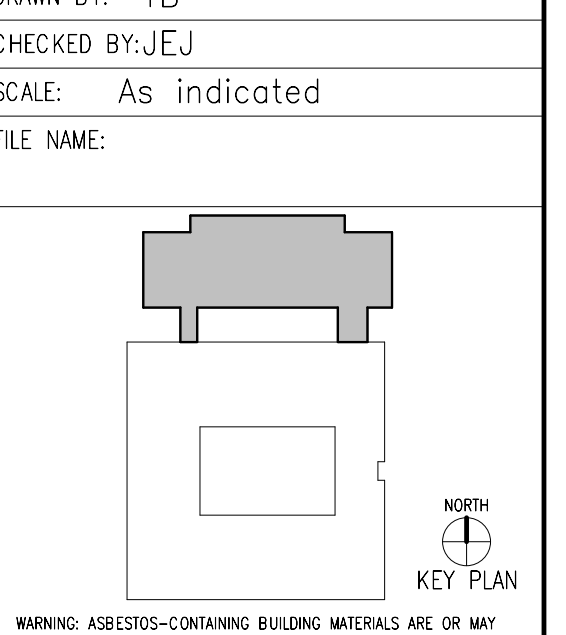
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 P 312.224.2600  
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- ARCHITECTURE/PLANNING/DESIGN
- IMEG CORP.  
 231 S LASALLE ST, STE 600  
 CHICAGO, IL 60604  
 T 312-294-0501
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 CHICAGO, IL 60606  
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EMILIANO ZAPATA  
 ACADEMY ANNEX

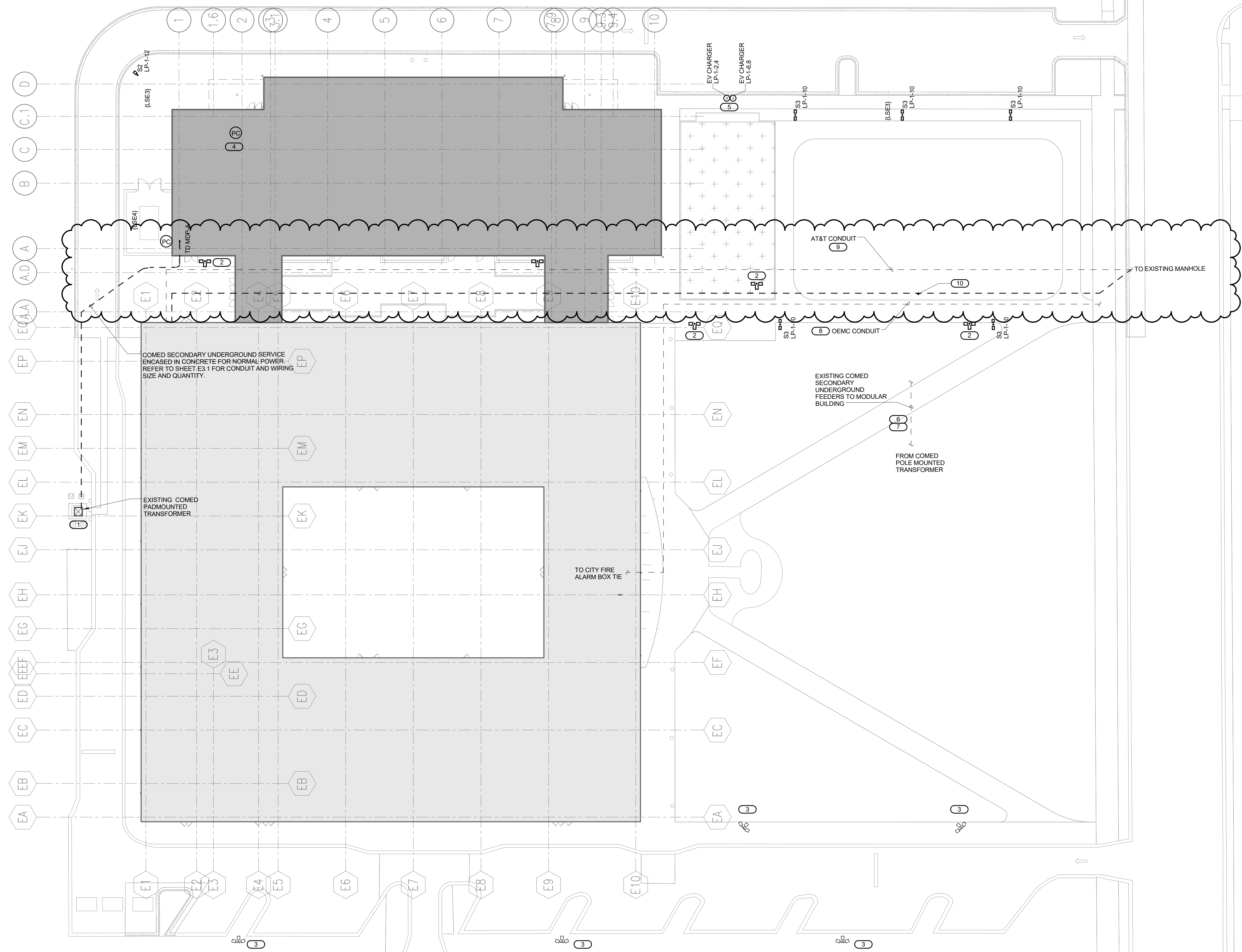
2728 S KOSTNER AVE  
 CHICAGO, IL 60623  
 PBC CONTRACT NO. C1576  
 PBC PROJECT NO. 05055  
 CPS PROJECT NO. 2017-23611-ANX

NO.	DATE	DESCRIPTION
1	12/22/2016	DESIGN DEVELOPMENT
2	02/07/2017	FOR CONSTRUCTION DOCUMENTS
3	03/14/2017	FOR CONSTRUCTION DOCUMENTS
4	03/31/2017	ISSUE FOR PERMIT
5	04/10/2017	ISSUE FOR CONSTRUCTION DOCUMENTS
6	07/28/2017	ISSUE FOR BID
10	08/23/2017	ADDENDUM 3
11	09/01/2017	ADDENDUM 4

DRAWN BY: TB  
 CHECKED BY: JEJ  
 SCALE: As indicated  
 FILE NAME:



SHEET TITLE  
**FOUNDATION PLAN**  
 DRAWING NO.  
**S1.0**



- GENERAL NOTES:**
1. CALL "DIGGER" PRIOR TO STARTING ANY EXCAVATION TO DETERMINE EXISTING UNDERGROUND UTILITIES, PIPING, CONDUITS, STRUCTURES, ETC.
  2. CONDUIT RUNS ARE DIAGRAMMATIC. EXACT LOCATION AND ROUTING SHALL BE FIELD DETERMINED.
  3. UNDERGROUND CONDUITS SHALL BE CONCRETE ENCASED WHEN CROSSING ALLEYS, PARKING LOTS, STREETS, DRIVES, ETC.
  4. MINIMUM SIZE CONDUIT FOR SITE LIGHTING SHALL BE 1" AND BE PVC SCHEDULE 40. MINIMUM WIRE SIZE SHALL BE AWG 8.
  5. ALL EXTERIOR DEVICES SHALL BE WEATHER RESISTANT.
  6. FOR OUTDOOR WALL MOUNTED DEVICES IN ANNEX REFER TO FIRST FLOOR POWER AND LIGHTING PLANS.
  7. FOR ANNEX CANOPY LIGHTING REFER TO FIRST FLOOR LIGHTING PLAN.
  8. FIELD VERIFY ROUTING OF EXISTING "OEM" CONDUIT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. INFORM CPS IF EXISTING "OEM" CONDUIT INTERFERES WITH NEW CONSTRUCTION PRIOR TO STARTING ANY WORK.
  9. FOR LUMINAIRE, PANEL SCHEDULES AND LIGHTING CONTROL REFER TO SHEETS SERIES ES.

- KEYNOTES: #**
1. COORDINATE WITH COMED WORK RELATED TO UTILITY TRANSFORMER TO ALLOW ACCESS TO EXISTING AND NEW FEEDERS.
  2. DISCONNECT AND REMOVE EXISTING LIGHT POLES ASSOCIATED WIRING AND CONDUIT BACK TO SOURCE.
  3. EXISTING POLE LIGHTING FIXTURES TO REMAIN. PROVIDE PHOTOCELL ON THE ROOF TO CONTROL EXTERIOR LIGHTING. INSTALL 4" ABOVE SNOW LINE PER MANUFACTURER'S RECOMMENDATION.
  4. PROVIDE ELECTRICAL VEHICLE DUAL CHARGER AS MANUFACTURED BY SCHNEIDER ELECTRIC EV230PDRR OR BOSCH POWER XPRESS DUAL BOLLARD. UNIT SHALL BE PEDESTAL MOUNT DUAL TYPE FOR OUTDOOR LOCATIONS AND SHALL BE ABLE TO CHARGE TWO (2) VEHICLES SIMULTANEOUSLY AT FULL POWER. UNIT SHALL BE PROVIDED WITH POWER CABLES AND SHALL BE WEATHER AND VANDAL RESISTANT. FIELD COORDINATE EXACT LOCATION.
  5. EXISTING MODULAR BUILDING SHALL REMAIN OPERATIONAL UNTIL ANNEX BUILDING IS COMPLETED AND FUNCTIONAL. EXISTING COMED SERVICE FROM POLE MOUNTED TRANSFORMER LOCATED SOUTH OF THE BUILDING AND SECONDARY UNDERGROUND FEEDERS TO MODULAR BUILDING SHALL REMAIN AND BE PROTECTED UNTIL ANNEX IS COMPLETE.
  6. AT COMPLETION OF ANNEX MODULAR BUILDING SHALL BE DISCONNECTED. SERVICE SHALL BE REMOVED. REMOVE ALL WIRING, CUT CONDUIT CAP AND COVER FLUSH WITH GROUND. UNDERGROUND CONDUIT COULD BE ABANDONED UNLESS INTERFERES WITH ANY WORK. WORK SHALL BE COORDINATED WITH PROJECT MANAGER AND COMED.
  7. EXISTING OEM CONDUIT SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION. FIELD VERIFY EXACT ROUTING OF CONDUIT PRIOR TO STARTING ANY WORK.
  8. EXISTING 12" Ø ENCASED IN CONCRETE FOR TELE/DATA. SHALL BE REROUTED. REMOVE EXISTING CABLE AND CONDUITS.
  9. FOR TELECOM PROVIDE NEW 12" Ø ENCASED IN CONCRETE. COORDINATE WORK WITH CIVIL. PROVIDE CABLES TO MATCH EXISTING. COORDINATE WORK WITH UTILITY.

**1 ELECTRICAL SITE PLAN**  
3/64" = 1'-0"

**IMEG**  
231 SOUTH LASALLE, SUITE 600  
CHICAGO, IL 60604  
TEL: 312.294.0900 FAX: 312.294.0903  
WWW.IMEG.COM  
PRODUCT # 001225-50

Illinois Design Firm Registration #15400721-0006

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0 1 2 3

SCALE: 3/64" = 1'-0"



**ARCHITRAVE**  
1128 WEST CHICAGO AVE.  
2ND FLOOR  
CHICAGO, ILLINOIS 60642  
P 312.624.2600  
F 312.642.6916

- ARCHITECTURE/PLANNING/DESIGN
- IMEG CORP.**  
231 S LASALLE ST, STE 600  
CHICAGO, IL 60604  
T 312-294-0501
- TERRA ENGINEERING, LTD.**  
225 W OHIO ST, 4TH FL  
CHICAGO, IL 60654  
T 312-467-0123
- HUKESLER ASSOCIATES, INC.**  
3660 N LAKE SHORE DRIVE, STE 500  
CHICAGO, IL 60613  
T 773-975-6467
- SHEN MILSON & WILKE LLC**  
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CHICAGO, IL 60606  
T 312-559-4986
- ILLINOIS ROOF CONSULTING ASSOCIATES, INC.**  
4302-G CRYSTAL LAKE RD  
MCHENRY, IL 60050  
T 815-385-6560
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150 HOUSTON ST, STE 304  
BATAVIA, IL 60210  
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600 W VAN BUREN ST, STE 500  
CHICAGO, IL 60607  
T 312-782-4486

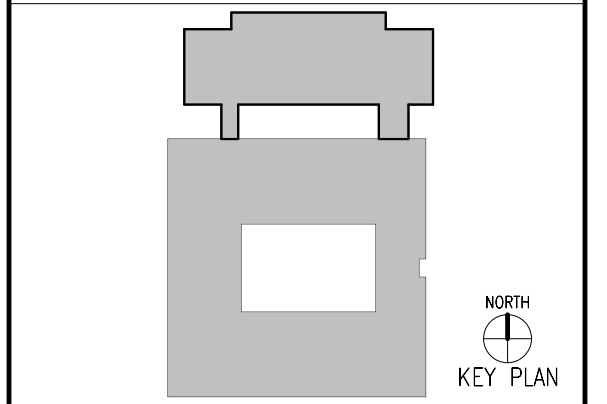
**EMILIANO ZAPATA  
ACADEMY ANNEX**

2728 S KOSTNER AVE  
CHICAGO, IL 60623  
PBC CONTRACT NO. C1576  
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**REVISIONS**

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7		07/28/2017	ISSUE FOR BID
10	1	09/01/17	ADDENDUM #4

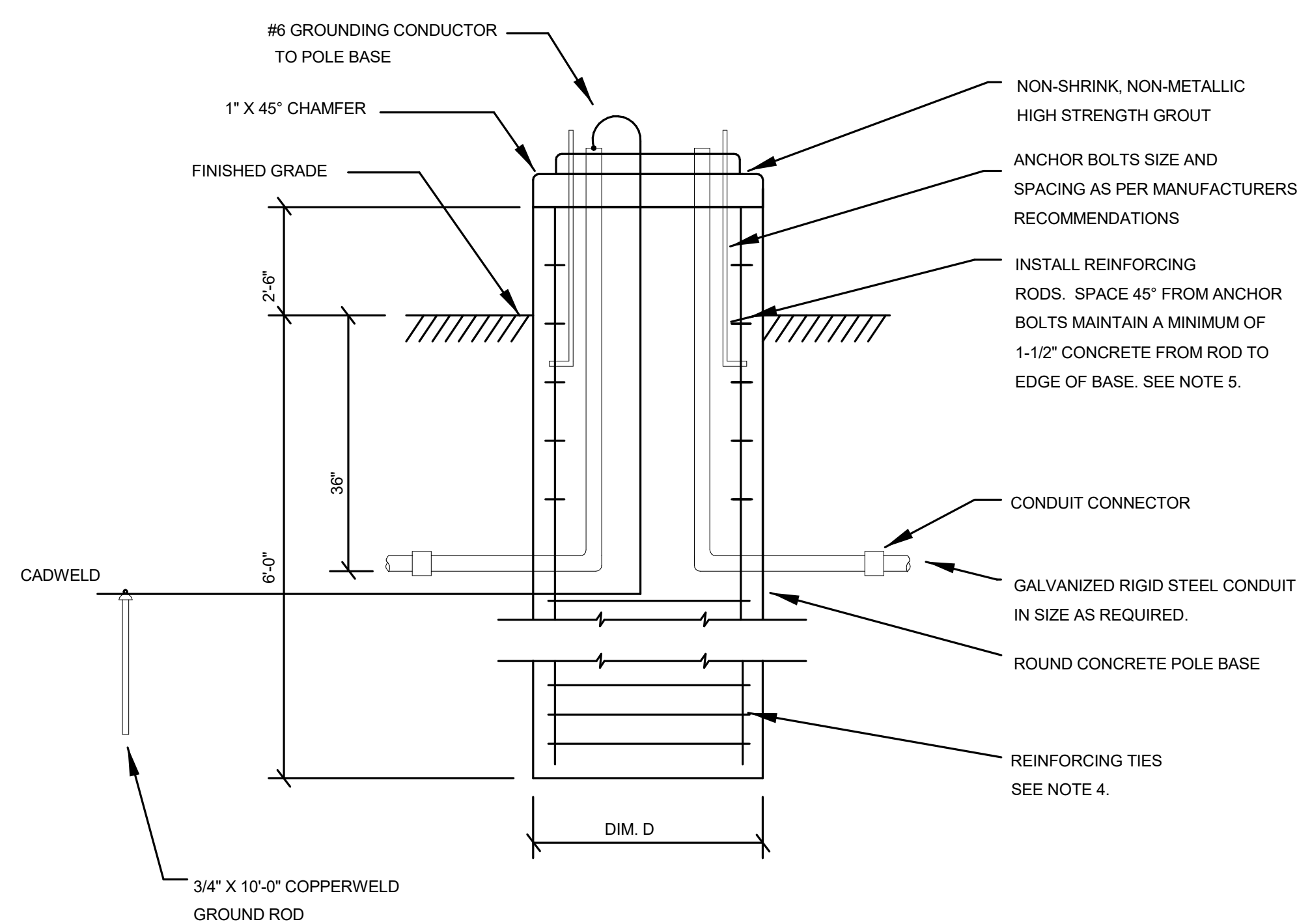
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CHECKED BY: LH/SP  
SCALE: 3/64" = 1'-0"  
FILE NAME:



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SHEET TITLE  
**ELECTRICAL SITE PLAN**

DRAWING NO.  
**ES.1**

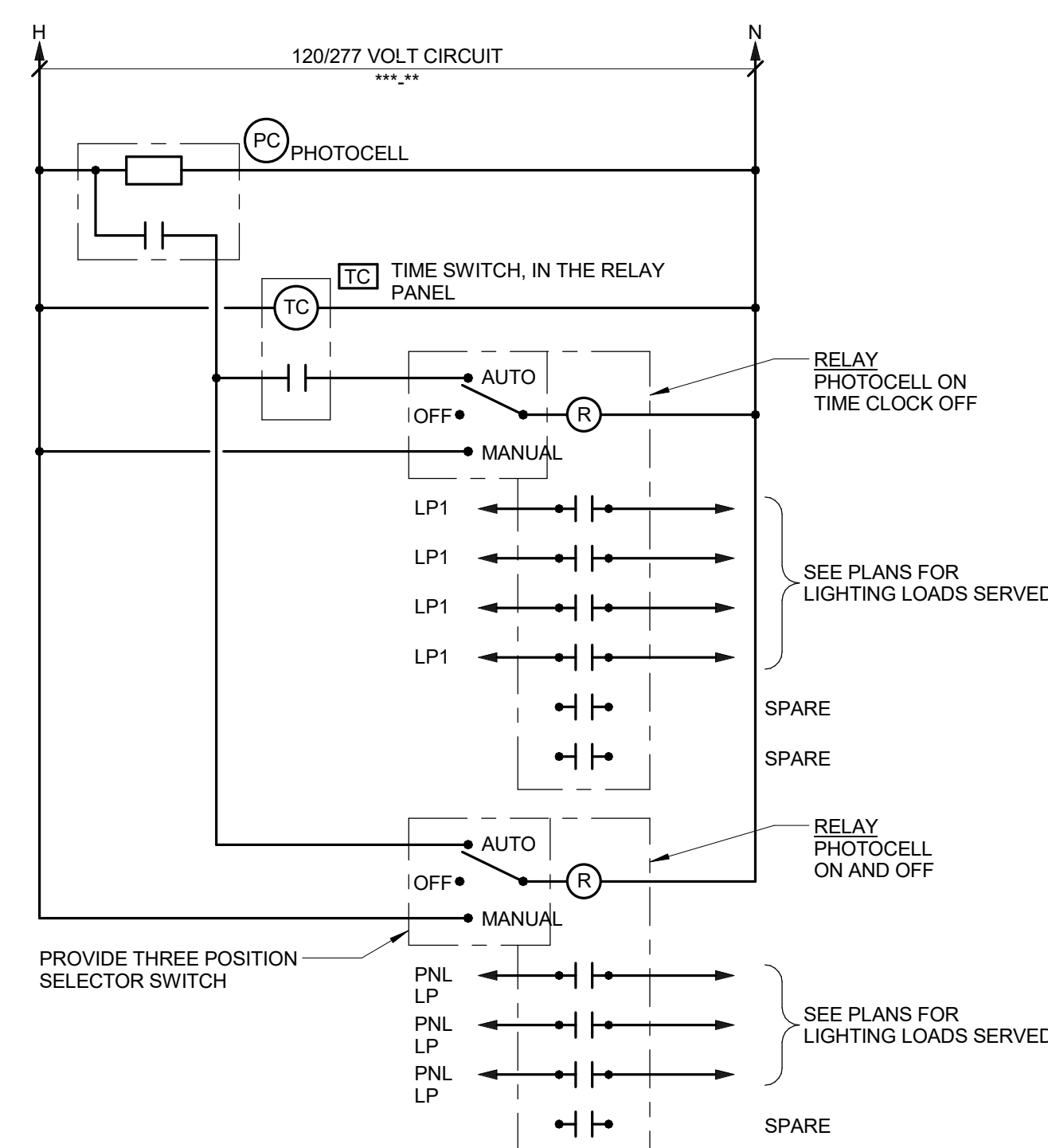


**NOTES:**

- E.C. SHALL DETERMINE ANCHOR BOLT SIZES AND SPACING AS PER MANUFACTURER'S TEMPLATE.
- EXTEND CONDUITS INTO TRENCH BASE FOR BRANCH CIRCUITS.
- PROVIDE ADDITIONAL CONDUIT FOR CCTV AS REQUIRED.
- PROVIDE (6) #6 REINFORCING RODS FOR 24\"/>

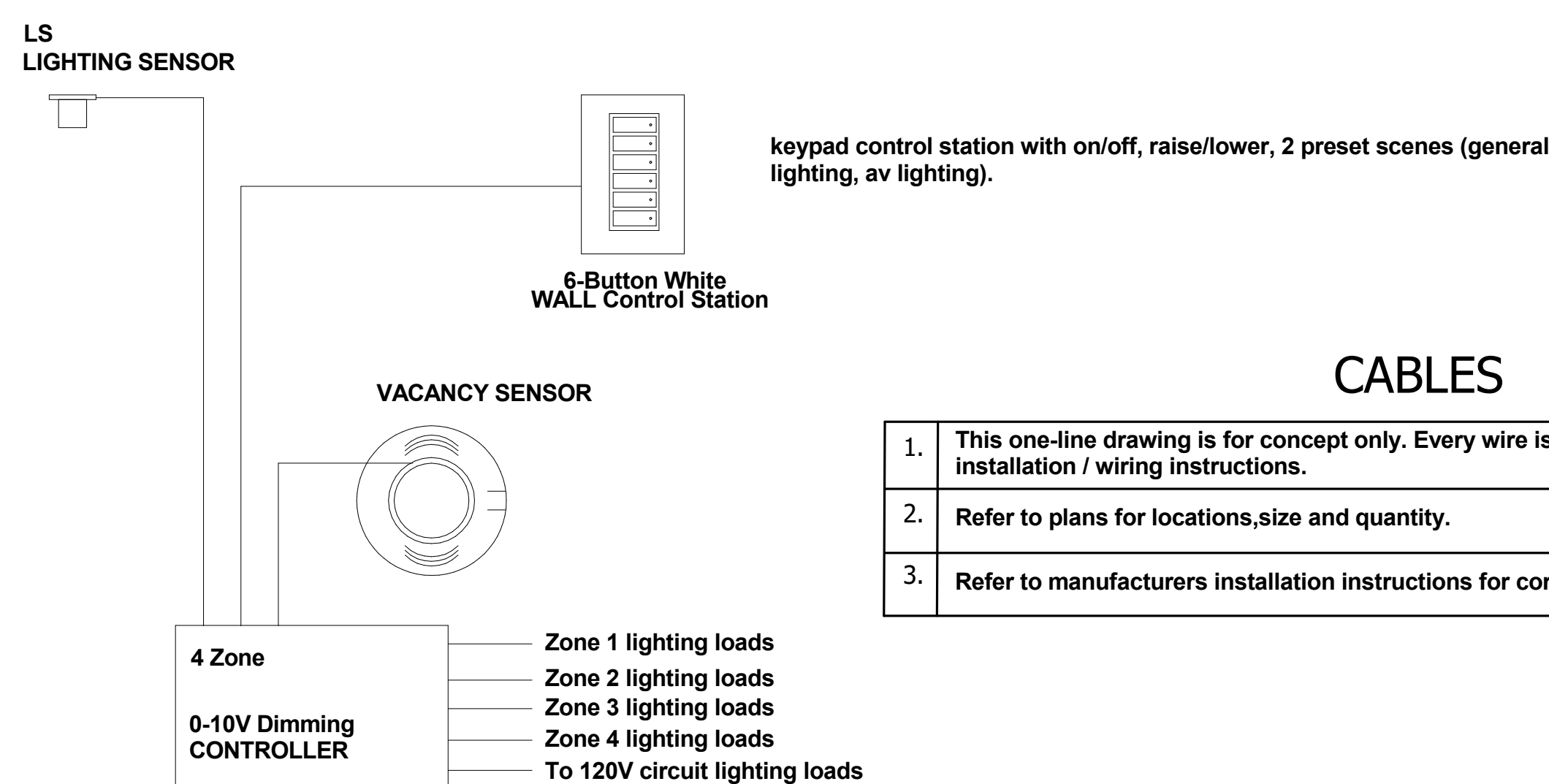
**1 LIGHT POLE DETAIL**

NO SCALE



**2 EXTERIOR LIGHTING CONTROL DETAIL**

NO SCALE

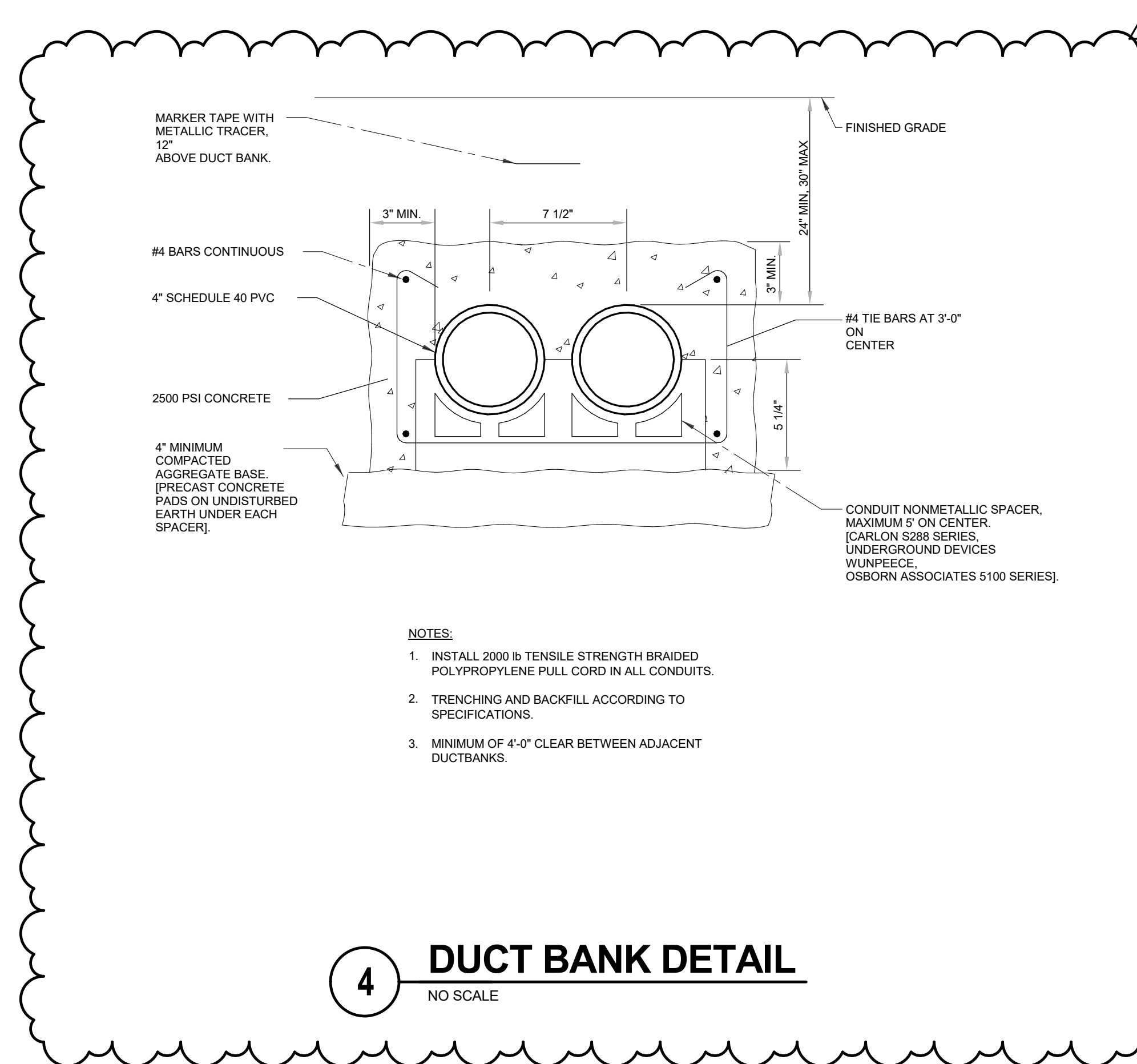


**CABLES**

- This one-line drawing is for concept only. Every wire is not shown. Wire according to the product installation / wiring instructions.
- Refer to plans for locations, size and quantity.
- Refer to manufacturers installation instructions for correct wiring information.

**3 LIGHTING CONTROL FOR TYPICAL ROOMS**

NO SCALE



**NOTES:**

- INSTALL 2000 LB TENSILE STRENGTH BRAIDED POLYPROPYLENE FULL CORD IN ALL CONDUITS.
- TRENCHING AND BACKFILL ACCORDING TO SPECIFICATIONS.
- MINIMUM OF 4'-0\"/>

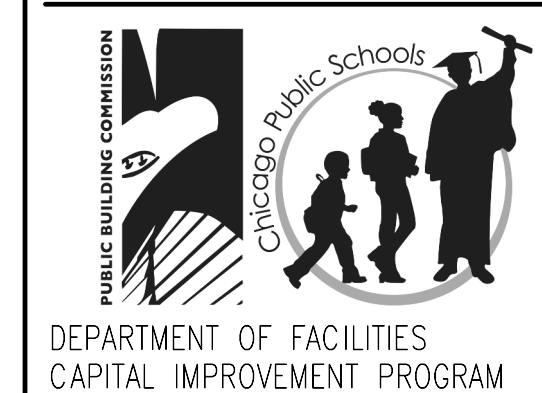
**4 DUCT BANK DETAIL**

NO SCALE

**IMEG** 231 SOUTH LASALLE, SUITE 600 CHICAGO, IL 60604 312.294.0001 FAX: 312.294.0063 www.imeg.com PRODUCT # 0016225-50 Illinois Design Firm Registration #16400727-0006

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CAPITAL IMPROVEMENT PROGRAM



1128 WEST CHICAGO AVE.  
2nd FLOOR  
CHICAGO, ILLINOIS 60642  
P 312.224.2600  
F 312.642.6916

ARCHITECTURE/PLANNING/DESIGN

IMEG CORP.  
231 S LASALLE ST, STE 600  
CHICAGO, IL 60604  
T 312-294-0501

TERRA ENGINEERING, LTD.  
225 W OHIO ST, 4TH FL  
CHICAGO, IL 60654  
T 312-467-0123

HJKESSLER ASSOCIATES, INC.  
3660 N LAKE SHORE DRIVE, STE 500  
CHICAGO, IL 60613  
T 773-975-6467

SHEN MILSON & WILKE LLC  
2 N RIVERSIDE PLAZA #1460  
CHICAGO, IL 60606  
T 312-559-4686

ILLINOIS ROOF CONSULTING ASSOCIATES, INC.  
4302-G CRYSTAL LAKE RD  
MCHENRY, IL 60050  
T 815-385-6560

EDGE ASSOCIATES, INC.  
150 HOUSTON ST, STE 304  
BATAVIA, IL 60210  
T 630-962-4422

CARNOW, CONIBEAR & ASSOCIATES, LTD.  
600 W VAN BUREN ST, STE 500  
CHICAGO, IL 60607  
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**REVISIONS**

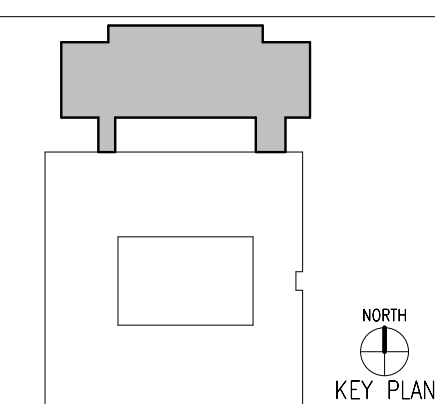
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SHEET TITLE  
**ELECTRICAL DETAILS**

DRAWING NO.

**E7.8**